

# AGENDA

July 7, 2025

## PLANNING COMMISSION/BOARD OF ZONING APPEALS

7:00 PM

Roll Call

Minutes

Meeting of May 15, 2025

Cases

### CASE NO. 2025-138

J.P. Burleigh, the representative for Integrity Green Landscaping, has submitted modified plans for a business development at the Village North Site. On November 4, 2024, the Amberley Village Board of Zoning Appeals held a public meeting and approved development plans for a 9,600-square-foot warehouse and a 4,480-square-foot warehouse with office space to be built on 5.1 acres. The 5.1-acre lot is located across the street from the Amberley Village Maintenance Facility located at 8605 Ridge Road. Amberley Village Code Section 154.83 requires a site plan review for all new structures by the Board of Zoning Appeals and a public hearing when variances are requested.

### **Site Plan Changes:**

- **Warehouse:** Shifted warehouse southeast to move facility further away from the Northern Duke and American Tower Property Easements and in alignment with new office/workshop location.
- **Workshop/Office:** Shifted office southeast to move building outside the Duke and American Tower Easements. Shifted building further east to allow more space between the warehouse and the workshop garage door entrance.
- **Employee Parking Spaces:** Reorganized employee parking spaces to accommodate the building shifts. As a result, the parking spaces were reduced by 8 spots. The new employee parking space total is 62 spaces.
- **Interior Landscaping:** As a result of the building shifts, the interior parking islands and landscaping around the office were enhanced. The changes resulted in more square feet of interior landscaping, and a slight reduction in the total interior landscape trees. The total quantities and trees exceed the current North Site District Regulations. (Regulations require 22 square feet of interior landscape beds per parking space. 122 spaces = 2,684 square feet required interior landscape. The modified plan shows over 9,000 square feet of interior landscape. Tree requirements are 1 tree per 10 parking spaces. 122 spaces = 12.2 or 13 required trees. The modified plan shows 15 interior trees in the landscape

islands.)

**The site plan requires four variances to the Village Zoning Code:**

1) A variance is required from Village Code Section 154.14 (A), to allow for the 6' high black aluminum fence surrounding the outdoor west plant and material staging area and along the north property line.

2) A variance is required from Village Code Section 154.81(C) and (D) to allow the metal facade area to be greater than 75% for the 9,600-square-foot warehouse and the 4,480-square-foot office/warehouse.

3) A variance is required from Village Code Section 154.79 (E) to allow outdoor storage.

4) A variance is required from Village Code Section 154.80 (B) to allow the current northern property vegetation to remain as the required landscape buffer.

New Business

Adjournment

**MINUTES OF THE REGULAR MEETING OF THE  
AMBERLEY VILLAGE BOARD OF ZONING APPEALS/PLANNING COMMISSION  
THURSDAY, MAY 15, 2025**

Chairperson Richard Bardach called to order the meeting of the Amberley Village Board of Zoning Appeals/Planning Commission at the Amberley Village Municipal Building in Council Chambers on Thursday, May 15, 2025, at 7:00 p.m.

Chairperson Bardach welcomed everyone to the meeting and led the Pledge of Allegiance for those in attendance and roll was taken as follows:

**PRESENT:**

Rich Bardach  
Nimet Jeruzalmi  
Craig Cappozzo  
Rick Lauer  
Scott Rubenstein

**ALSO PRESENT:**

Chris Fritsch, Zoning Administrator  
Scot Lahrmer, Village Manager  
Tammy Reasoner, Clerk of Council

Chairperson Bardach asked if there were any corrections to the minutes of the April 7, 2025 meeting. There being none, the minutes were accepted as submitted.

**CASE NO. 2025-74**

Mr. Fritsch introduced Case # 2025-74, in which Paul Hogan, the property owner of 9150 Ambercreek Drive, sought variances from Zoning Code Sections 154.12 (2)(3)(4), which would allow for the construction of a 1,878-square-foot detached garage with an overall height of 14.8'. The Village Code permits a detached garage to have a floor area of 800 square feet and be 20' or more from side and rear lot lines.

Mr. Fritsch said the Code was set up to allow review for garage structures larger than 800 square feet with certain requirements. He said the Home Owners Association (HOA) had approved the proposal.

Mr. Hogan provided an illustration of the site plan and introduced Mr. John Johnson as the architect of the plans. He said he wished to build the garage to hold five cars, as he is a car collector. He stated he was cognizant of not blocking the views and would position the garage behind existing trees so that it is not visible to neighbors. He said he has spoken with his neighbors who are satisfied with the plans. He referenced a similar case which was recently passed by the Board.

Mr. Rubenstein commented that the plan was nicely done, which he appreciated. He asked if the lot to the east of the property drops off, to which Mr. Hogan stated it goes uphill. Mr. Hogan said his plan was to cut into the hill, as he felt it looked better tucked further back. Mr. Rubenstein said the property was unique in that the back of the lot abuts a park.

Mr. Hogan said he was requesting a variance for an additional five feet, which is still some distance from the existing fence, in order to add landscaping for further coverage.

Mr. Rubenstein asked for details regarding plans for lighting the exterior of the garage. Mr. Hogan said he planned to include four sconces with four low-watt bulbs aimed at the ground, so

there would be very little light. Mr. Bardach asked about the positioning of the lighting, to which Mr. Hogan responded the sconces would be placed under a 3' canopy which would protrude from the roof.

Mr. Rubenstein asked if the new residents near the property had been informed. Mr. Hogan said he had spoken with the realtor.

Ms. Jeruzalmi asked how many cars in total Mr. Hogan planned to store in the garage. He responded that all five of his cars would be kept in the garage.

Mr. Rubenstein moved to approve the proposal contingent upon keeping the project consistent with the presentation before the Board and the added landscaping as described. Seconded by Mr. Cappozzo, the motion passed unanimously.

**NEW BUSINESS**

There being no further business, the meeting was adjourned at 7:21 p.m.

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Tammy Reasoner, Clerk of Council

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Rich Bardach, Chairperson



7149 Ridge Road  
Amberley Village, OH 45237

513-531-8675 *phone*  
513-531-8154 *fax*

[amberlevillage.org](http://amberlevillage.org)

PLANNING COMMISSION  
MEETING NOTICE

WHEN: July 7, 2025 at 7:00 PM

WHERE: Amberley Village Municipal Building, 7149 Ridge Road

FROM: Scot Lahrmer, Village Manager

Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals on Monday, July 7, 2025, at 7:00 p.m. in the Council Chambers of the Amberley Village Municipal Building, 7149 Ridge Road. The public meeting will be held to review the following:

J.P. Burleigh, the representative for Integrity Green Landscaping, has submitted modified plans for a business development at the Village North Site. On November 4, 2024, the Amberley Village Board of Zoning Appeals held a public meeting and approved development plans for a 9,600-square-foot warehouse and a 4,480-square-foot warehouse with office space to be built on 5.1 acres. The 5.1-acre lot is located across the street from the Amberley Village Maintenance Facility located at 8605 Ridge Road. Amberley Village Code Section 154.83 requires a site plan review for all new structures by the Board of Zoning Appeals and a public hearing when variances are requested.

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**The site plan requires four variances to the Village Zoning Code:**

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- 2) A variance is required from Village Code Section 154.81(C) and (D) to allow the metal facade area to be greater than 75% for the 9,600-square-foot warehouse and the 4,480-square-foot office/warehouse.
- 3) A variance is required from Village Code Section 154.79 (E) to allow outdoor storage.
- 4) A variance is required from Village Code Section 154.80 (B) to allow the current northern property vegetation to remain as the required landscape buffer.

If you are interested in reviewing the application, you may do so by email request to the Village Clerk at [tpreisoner@amberleyvillage.org](mailto:tpreisoner@amberleyvillage.org), or you may attend the July 7, 2025 Board of Zoning Appeals public meeting in person. If you have any questions, please feel free to contact Scot Lahrmer at (513) 531-8675.

cc: *The New Trails End Investment Co., 2222 Fernleaf Lane, Columbus, Ohio 43235*  
*Holly Sauerbrunn, 3612 Dickens Ave, Cincinnati, Ohio 45213*  
*Mercy Health, Kim Baltz, 1701 Mercy Health Place, Cincinnati, Ohio 45237*  
*Molly J. Properties, 7210 Thumbelina Ln, Cincinnati, Ohio 45242*  
*City of Reading, 1004 Market Street, Reading, Ohio 45215*  
*Bradley Wilhelm, 4307 Cornell Road, Cincinnati, Ohio 45241*  
*Cynthia Brown, 10027 Windzag Lane, Cincinnati, Ohio 45215*  
*Jason and Carrie Biedelman, 8505 Crestdale Court, Cincinnati, Ohio 45236*  
*Dere Properties LLC, 7809 Southtown Center #220, Minneapolis, MN 55431*  
*Mary Ward, 625 Maple Drive, Cincinnati, Ohio 45215*  
*Jakob and Shayna Harper, 621 Maple Drive, Cincinnati, Ohio 45215*  
*Emily and Joan Bautista, 617 Maple Drive, Cincinnati, Ohio 45215*  
*Spaulding Property Management, 9835 Zig Zag Drive, Cincinnati, Ohio 45242*  
*Sharon and Denver Gabbard, 609 Maple Drive, Cincinnati, Ohio 45215*  
*Danny Staab, 605 Maple Drive, Cincinnati, Ohio 45215*  
*Joe and Dawn Ellis, 601 Maple Drive, Cincinnati, Ohio 45215*  
*Steve and Jessica Puchan, 521 Maple Drive, Cincinnati, Ohio 45215*  
*Sherry Driskell, 519 Maple Drive, Cincinnati, Ohio 45215*  
*Terry and Phyllis Brinck, 517 Maple Drive, Cincinnati, Ohio 45215*  
*Brent and Heidi Bothe, 515 Maple Drive, Cincinnati, Ohio 45215*  
*Seth and Lindsey Redwine, 841 Bunny Court, Cincinnati, Ohio 45215*



7149 Ridge Road  
Amberley Village, OH 45237

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amberleyvillage.org

## Amberley Village Planning Commission Staff Report

July 7, 2025

### **Subject:**

Integrity Green Landscaping

### **Variance:**

Site plan review and variance request

**Item:** Case#2025-138

**Variance Request:** J.P. Burleigh, the representative for Integrity Green Landscaping, has submitted modified plans for a business development at the Village North Site. On November 4, 2024, the Amberley Village Board of Zoning Appeals held a public meeting and approved development plans for a 9,600-square-foot warehouse and a 4,480-square-foot warehouse with office space to be built on 5.1 acres. The 5.1-acre lot is located across the street from the Amberley Village Maintenance Facility located at 8605 Ridge Road. Amberley Village Code Section 154.83 requires a site plan review for all new structures by the Board of Zoning Appeals and a public hearing when variances are requested.

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property line.

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3) A variance is required from Village Code Section 154.79 (E) to allow outdoor storage.

4) A variance is required from Village Code Section 154.80 (B) to allow the current northern property vegetation to remain as the required landscape buffer.

**Zoning Code Review: 154.14 Fences, Walls, Hedges**

(A) Notwithstanding other provisions of this Zoning Code, fences and walls not exceeding four and a half feet in height may be permitted in any required side or rear yard, provided that no fence or wall shall be permitted in any part of a front yard. Hedges along or directly adjacent to a public right of way may be permitted, provided that they are not over two-and-a-half feet in height. Hedges not along or adjacent to a public right-of-way may be permitted and are not subject to the two-and-a-half-foot height restriction. All hedges shall be trimmed and maintained to present a neat and orderly appearance consistent with village standards.

**154.81 Architectural Regulations**

The purpose of this section is to require architectural features which increase visual interest, reduce undifferentiated masses and relate to the pedestrian scale, in accordance with the following standards.

(C) Building facades may be constructed from stone, masonry, cement fiberboard, split-face, textured concrete, heavy gauge vinyl, glass or other materials which provide the same desired quality.

1) Concrete masonry units (CMU or block) shall be textured or split-face and otherwise not smooth.

2) Office uses may use architectural metal panels, glass (up to 75% of the facade area) and ornamental metal.

3) Wood, stucco, EIFS, or other similar material shall be used for trim or architectural features only.

(D) Buildings constructed of metal shall be prohibited, except as provided in § 154.81(C)(2).

**154.79 Site Development Regulations**

(E) Outdoor storage. Outdoor sales, display and storage shall be prohibited.

**154.80 Landscape Regulations**

(A) Streetscape buffer. A streetscape buffer shall be installed along the property line abutting all public street right-of-way and private access drives consisting of a minimum of ten feet in depth and including a minimum of four understory or canopy trees and three shrubs per 100 linear feet of frontage.

(B) Boundary buffer. A boundary buffer shall be installed between any residential use and any non-residential use, including mixed use buildings consisting of a minimum of ten feet in width and including a minimum of four canopy or evergreen trees and three shrubs per 100 linear feet of boundary length.

(C) Interior parking lot landscaping. Interior parking lot landscaping shall be required for all new and expanded parking areas in accordance with the following standards.

1) The total landscape area required in parking lot areas is 22 sq. ft. per parking space.

2) Landscape areas shall consist of parking islands or peninsulas and all required landscape materials shall be planted within these island or peninsula areas. Best management practices (BMPs) such as rain gardens or bio swales are encouraged.

3) The minimum number of canopy trees is one canopy tree for each ten parking spaces. Any fractional number of trees should be calculated to the next highest whole number.

4) To determine the total number of required shrubs, multiply the total number of required canopy trees by three. One canopy tree may substitute for three shrubs. Trees and shrubs do not have to be equally spaced and may be grouped.

(D) General landscaping standards. All required streetscape, boundary buffer, and interior parking lot landscaping shall comply with the following standards:

1) Canopy trees shall be deciduous trees with a minimum of 12 feet in overall height or a minimum caliper of 2.5 inches when installed, and have an expected height of at least 35 feet at maturity.

2) Understory trees (flowering/ornamental trees) shall be a minimum of five feet in height in clump form or a minimum caliper of 1.5 inches when installed.

3) Evergreen trees shall be a minimum of five feet in height when installed.

4) Shrubs shall be at least 18 inches in height or 24 inches in spread when installed.

5) Existing mature trees and shrubs that are preserved may be used to fulfill landscape requirements on a one-to-one basis except that any mature trees with a caliper greater than six inches may substitute for two required trees.(Ord. 2012-05, passed 8-13-12)

**Variance Review:** Integrity Green Landscaping is in the process of purchasing 5.1 acres of land from the Village to construct a 9,600-square-foot warehouse and a 4,480-square-foot warehouse with office space across from the Amberley Maintenance Garage, which is located at 8605 Ridge Road.

The proposed landscape company is located in the North Site Zoning District (NS) and is a permitted use with the approval of 4 variances. The structures will total 14,080 square feet, with metal siding, stone veneer, and metal roofing.

The North Site Regulations (Section 154.77) allow a building height of 60 feet, which is 31' higher than the proposed 29' at the center of the highest elevations.

Section 154.78 states that all structures shall comply with the minimum yard setback requirements.

#### **Minimum Yard Requirements**

- 1) Ronald Reagan Highway: 25 feet
- 2) Front yard: 25 feet
- 3) Side Yard: 20 feet
- 4) Rear Yard: 20 feet

The proposed landscaping company meets all required setbacks for the North Site district.

#### **Parking**

The off-street parking requirement (Section 154.79 (A)) for the proposed Integrity Green Landscaping is 12 spaces (three spaces for the first 1,000 square feet of office or fraction thereof, plus one space per 400 square feet of floor area in excess of 1,000 square feet; 5 spaces for flex office/warehouse building; and one space per two employees on maximum work shift or for 2,000 square feet of warehouse floor area). The proposed parking lot plan shows 122 spaces which meet the minimal requirements of section 154.79 (A).

#### **Sidewalks**

Section 154.79 also calls for sidewalks to be installed on both sides of all streets and from the building to the street. The proposed development is landlocked by Village-owned property, and no new streets or sidewalks are planned to be constructed with this project. The staff has determined sidewalks are not necessary for this project due to the existing access that is a driveway and not a public street, and the Village does not own the parcel that abuts Ridge Road.

#### **Exterior Lighting**

The submitted plans meet the exterior lighting requirements in Section 154.79 (C). The regulations call for a zero-foot candle at any residential property line and the submitted plan shows 0.0 at residential boundary lot lines.

**Dumpster and Trash Handling Areas**

The final regulation in Zoning Section 154.79 (D)(3) requires dumpsters and trash handling areas to meet the same minimum setback (25') as the main building, and be surrounded on three sides with a wall or fence with a height of no more than 7' and no less than 5'. The proposed dumpster/trash handling area is located on the west side of the flex space/warehouse, approximately 122' from the north property setback line.

The trash handling area will be an enclosed 180-square-foot area surrounded by wood planks and in compliance with Code Section 154.79 (D)(3).

**Landscaping**

The regulations in Zoning Code Section 154.80 require streetscape buffers along property lines abutting public streets, boundary buffers and interior parking landscaping.

The streetscape requirement is to be 10' in depth, and consist of 4 under-story or canopy trees and 3 shrubs per 100' of frontage. Integrity Green Landscaping's frontage along the access driveway is approximately 950', which would require 40 trees and 27 shrubs. The proposed landscape plan shows Acer Rubrum trees and Thuja Occidetalis shrubs along the North Site driveway to satisfy the streetscape requirement.

The boundary buffer has the same requirement of 4 trees and 3 shrubs per 100', and is to be installed between any residential and non-residential properties. Integrity Green Landscaping's north property line does border a residential area. Integrity Green is requesting a variance to the boundary buffer for the existing landscaping to remain in place. Complying with the literal terms of this buffer requirement would force Integrity to clearcut the mature vegetation along the northern property line, and destroy the existing natural buffer between the property and the residents to the north. Along the west property line, to meet the requirements of the buffer Integrity plan, Integrity shows Thuja Green Giant Arborvitae trees and Thuja Occidetalis shrubs.

The interior parking lot requires 22 square feet of landscaping per parking space, 1 tree, and 3 shrubs per 10 parking spaces. The plans submitted show a total of 122 parking spaces, which would require 2,684 square feet of landscaping, 13 trees, and 39 shrubs. The landscape plan shows landscape beds totaling 9000 square feet, 15 trees and 39 shrubs, which satisfies the minimum requirements in Zoning Code Section 154.80.

**Architectural Regulations**

The exterior architectural features of the proposed structure will consist of bright white windows and door trim, bright white metal siding, artc smoke stone, and a black metal sloped roof. Architectural features surround the main entrance include a covered entry and an offset roof pitch line.

**Signage Regulations**

The North Site Zoning Code Section 154.82 regulates the signage in the North Site District. The regulation states that no sign may be posted on public property or in the public right of way except for public signs, such as regulatory and traffic signs, and must be placed in such a way that they will not obstruct the vision of drivers.

The Code allows one square foot of building sign per foot of frontage along a public street or the facade that contains the front entrance, and to be located on the facade in which the measurement was taken. The

signage proposed for the development is one building sign on the east wall of the office/warehouse building. The sign will be 13' wide and 5' tall, totaling 65 square feet. The code also permits freestanding or monument signs for parcels with at least 150' of frontage. The freestanding signs shall not exceed 20' in height and must be a minimum of 5' from all public rights of way. Integrity may install one freestanding sign at the main entrance to the office/warehouse parking lot. The dimension, style, or picture of this sign has not been provided.

For the monument sign on Ridge Road, the intent is for this to serve as a marker sign for any developments on the North Site. The Village entered into a revocable agreement with Hamilton County for the sign to be placed on the County-owned property. Integrity has agreed to contribute financially toward this monument sign and use one panel on the sign.

### **Required Variances**

Integrity Green Landscaping requires four zoning variances to allow the facility to be constructed per the submitted plans.

- 1) A variance is required from Village Code Section 154.14 (A), to allow for the 6' high black aluminum fence surrounding the outdoor west plant and material staging area and along the north property line.
- 2) A variance is required from Village Code Section 154.81(C) and (D) to allow the metal facade area to be greater than 75% for the 9,000-square-foot warehouse and the 4,480-square-foot office/warehouse.
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**Project Recommendations:** Staff recommends approval of the modified site plan and required variances for Integrity Green Landscaping. After seven months of negotiation, the Village has entered into a purchase agreement with Integrity Green, which plans to invest \$1.5 million in its new location. Integrity Green, known for its expertise in hardscaping and outdoor living spaces, is a highly skilled and professional organization looking to expand its business in Amberley. They currently employ 22 staff members with a payroll of \$900,000.

### Site Plan Changes:

- Warehouse: Shifted Warehouse South East to move facility further away from the Northern Duke and American Tower Property Easements and in alignment with new office/workshop location.
- Workshop/Office: Shifted Office South East to move building outside of the Duke and American Tower Easements. Shifted Building Further East to allow more space between the warehouse and the workshop garage door entrance.
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showing over 9,000sf of interior landscape. Tree requirements are 1 tree per 10 parking spaces. 122 spaces =12.2 or 13 required trees. We are showing 15 interior trees in the landscape islands.)

While the land across from the Village Garage may not hold the same value as areas housing Mercy Hospital and Lewis Animal Hospital, Integrity Green's investment in this site relies on obtaining the necessary variances from the Village.

Verdantas Consultants has also reviewed the plans and recommended site plan approval, contingent upon the approval of additional storm water calculations, easements, and utility connections.

# Suder llc

Counsel for the  
Built Environment

**J.P. Burleigh, Esq.**  
1502 Vine Street, Fourth Floor  
Cincinnati, OH 45202  
jp@ssuder.com  
513.694.7502

October 14, 2024

**VIA EMAIL DELIVERY (*cfritsch@amberleyvillage.org*)**

Mr. Scot F. Lahrmer, Village Manager  
c/o Christ Fritsch, Zoning and Project Administrator  
VILLAGE OF AMBERLEY  
7149 Ridge Road  
Cincinnati, OH 45237

Re: **Application for Site Plan Review and Variances for 5.1017 acres of land located on Ridge Road, in the Village of Amberley, Hamilton County, State of Ohio**

Dear Mr. Lahrmer,

On behalf of Integrity Green Landscaping, LLC (“Integrity”), please accept this letter in support of an application to the Village of Amberley Board of Zoning Appeals (the “BZA”) for zoning approval related to the development of 5.1017 acres of land, which is currently a part of Hamilton County, Auditor’s Parcel Id. No. 526-0040-0026-90 (the “Parent Parcel”).

By way of background, the Parent Parcel is an approximately 20.096-acre tract of land currently owned by the Village of Amberley, which is located within the North Site District. Integrity intends to purchase 5.1017 acres of the Parent Parcel from the Village, as shown on the preliminary survey plat attached hereto as **Exhibit A** (the “Property”) and to develop the Property as the headquarters of Integrity’s landscaping business, as shown on the site plan attached hereto as **Exhibit B** (the “Project”). As part of that Project, Integrity is seeking approval from the BZA for five items (collectively, the “Zoning Approvals”):

- 1) Variance from the Village’s Code of Ordinances (the “Village Code”) Section 154.14(A)’s limitation that fences shall not exceed 4.5 feet in height;
- 2) Variance from Village Code Section 154.81(C) and (D)’s limitations on the amount of building façade area that may be constructed of metal;
- 3) Variance from Village Code Section 154.79(E)’s prohibition on outdoor storage and display;
- 4) Variance from Village Code Section 154.80(B)’s boundary buffer requirements; and
- 5) Site plan review under Village Code Section 154.83.

For all the reasons contained in this letter, we respectfully ask that the BZA grant each of the requested Zoning Approvals.

## **I. Background on Integrity and the Project**

Integrity is a local, family-owned business that has been serving the landscaping and hardscaping needs of the Greater Cincinnati area since 2011. (To learn more and to see examples of Integrity's projects, please visit <https://www.integritygreenoh.com/>.) Integrity has been fortunate to experience a boom of growth in recent years, requiring an expansion of their facilities. They are pleased to partner with the Village to bring their company headquarters to the North Site District.

If approved by the BZA, the Project will consist of two buildings—an office and a flex warehouse—totaling approximately 14,080 square feet and will result in the creation of an initial 23 jobs. At current trends, Integrity estimates that its projected payroll for 2024 to be \$900,000.00.

## **II. Variances (Village Code § 154.67)**

Under Section 154.67(A) of the Village's Code, the BZA has the power to grant variances from zoning regulations for specific developments "so that the intent of this Zoning Code shall be observed, and substantial justice done." In the case of an area variance, the test is whether the literal enforcement of the applicable zoning regulation will result in "practical difficulty" based on several different factors. Village Code § 154.67(B). In the case of a use variance, the test is whether literal enforcement of the applicable use restriction will result in "undue hardship," which does not have any defined criteria. *Id.* at § 154.67.

As explained more below, Integrity would not be able to develop the Property without relief from the literal application of several provisions of the Village's Code. As development would be impossible without relief from the BZA, Integrity has handily satisfied the practical difficult and undue hardship tests, and the BZA should grant the requested variances which are in accord with the intent of the Village Code and will do substantial justice.

### **A. Fence Height (Village Code § 154.67)**

Although the Village Code generally requires that all fences not exceed 4.5 feet in height, Integrity intends to install a 6-foot tall, black, vinyl-coated, chain-link fence along the perimeter of the Property. This is a relatively minor variance of only 1.5 feet in additional height. This subtle departure from the strict language of the Village Code will enable Integrity to better protect its buildings, equipment, and employees from potential trespassers. Further, this fence height would be in harmony with the fence for the Village's Maintenance Department, located directly to the south of the Property.

For more information on the fence that Integrity proposes, please see Exhibit B-2. For pictures of the Village's existing fence to the south, see Exhibit B-8.

**B. Metal Façade Area (Village Code § 154.81(B) and (C))**

The architectural regulations for the North Site District generally prohibit metal siding for building elevations, except that an office building may include up to 75% metal panels. As shown in Exhibit B-3, Integrity intends for the majority of both buildings' facades to be constructed of metal siding. That exhibit demonstrates that Integrity will still be accomplishing two of the core purposes of the architectural regulations, which are to "increase visual interest [and] reduce undifferentiated masses." Village Code § 154.81. By including a variety of window openings and architectural elements that break up the metal facades, Integrity had proposed a high-quality design that will enhance the character of the North Site District.

**C. Outdoor Storage and Display (Village Code § 154.79(E))**

The North Site District generally requires that storage, sales, and display occur within an enclosed building. However, Integrity proposes to store its equipment and materials outdoors, as indicated on Exhibit B-1, for several reasons. For one thing, it would be prohibitively expensive for Integrity to store all of its property indoors; this would require several times the amount of building footprint than is currently being proposed. Additionally, storing materials such as mulch inside would be a fire hazard. Likewise, inventory such as plants can only practicably be stored outside. Finally, outdoor storage poses no adverse impacts to any third parties: the Village does not object to this use as an adjacent property owner, and the residents to the north will be adequately screened from view of the Property by vegetation, as explained more below.

**D. Boundary Buffer (Village Code § 154.80(B))**

Finally, the North Site District generally requires a landscape buffer between residential and non-residential uses. Complying with the literal terms of this buffer requirement would force Integrity to clear cut the mature vegetation along the northern boundary line of the Property—destroying the existing, natural buffer between the Property and the residents to the north. (For pictures of this existing landscaping, please see Exhibit B-8.) Instead, Integrity proposes to maintain this buffer between the northern boundary line and the 20-foot setback; within this area, the existing vegetation would remain and serve as a replacement for the landscape buffer that is technically required by the Village Code.

**III. Site Plan Review (Village Code § 154.662)**

Along with our requests for variances, Integrity is also seeking site plan review for its Project, which is required for all new structures in the North Site District. We believe that Exhibit B as a whole presents an intelligent, well-designed layout for the Property that maximizes Integrity's business operation while improving the aesthetic character of the entire district. For these reasons as well, we respectfully ask that the BZA approve the site plan as submitted.

\* \* \* \*

For all the reasons explained in this letter, and as will be further explained by testimony from Integrity at the upcoming BZA hearing, we respectfully ask that the BZA approve each of the requested Zoning Approvals for the Project.

Sincerely,



J.P. Burleigh

*Counsel for Integrity Green Landscaping, LLC*

c: Tom Middleton  
Joe Middleton

Enclosures:

- Exhibit A – Preliminary Survey Plat
- Exhibit B – Site Plan
  - Exhibit B-1 – Architectural Information
  - Exhibit B-2 – Fencing
  - Exhibit B-3 – Metal Siding Area
  - Exhibit B-4 – Roofing
  - Exhibit B-5 – Metal Siding Materials
  - Exhibit B-6 – Hoop Barn
  - Exhibit B-7 – Bulk Material Bins Example
  - Exhibit B-8 – Existing Conditions Photos

Zoning Approval / Zoning Variance / Property Zoning Change

**Amberley Village**  
Mr. Scot F. Lahrmer  
Village Manager  
7149 Ridge Road  
Cincinnati, OH 45237

Date: October 14, 2024

You may email documents to the attention of: [cfritsch@amberleyvillage.org](mailto:cfritsch@amberleyvillage.org)

RE: Zoning Project Approval

- Zoning Approval
- Zoning Variance
- Property Zoning Change
- Other

Dear Mr. Lahrmer:

I hereby request approval for:

Site plan review and variances; please see the attached letter for details.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The proposed project is at the following address:

5.1017 acres of land on Ridge Road (part of Hamilton County Parcel Id. 526-0040-0026-90)

I certify the attached plat and measurements are accurate.

Sincerely,

\_\_\_\_\_  
Homeowner's Printed Name

\_\_\_\_\_  
Contractor's Name

\_\_\_\_\_  
Homeowner's Signature

\_\_\_\_\_  
Contractor's Address

\_\_\_\_\_  
Homeowner's Email Address

\_\_\_\_\_  
Contractor's Email Address

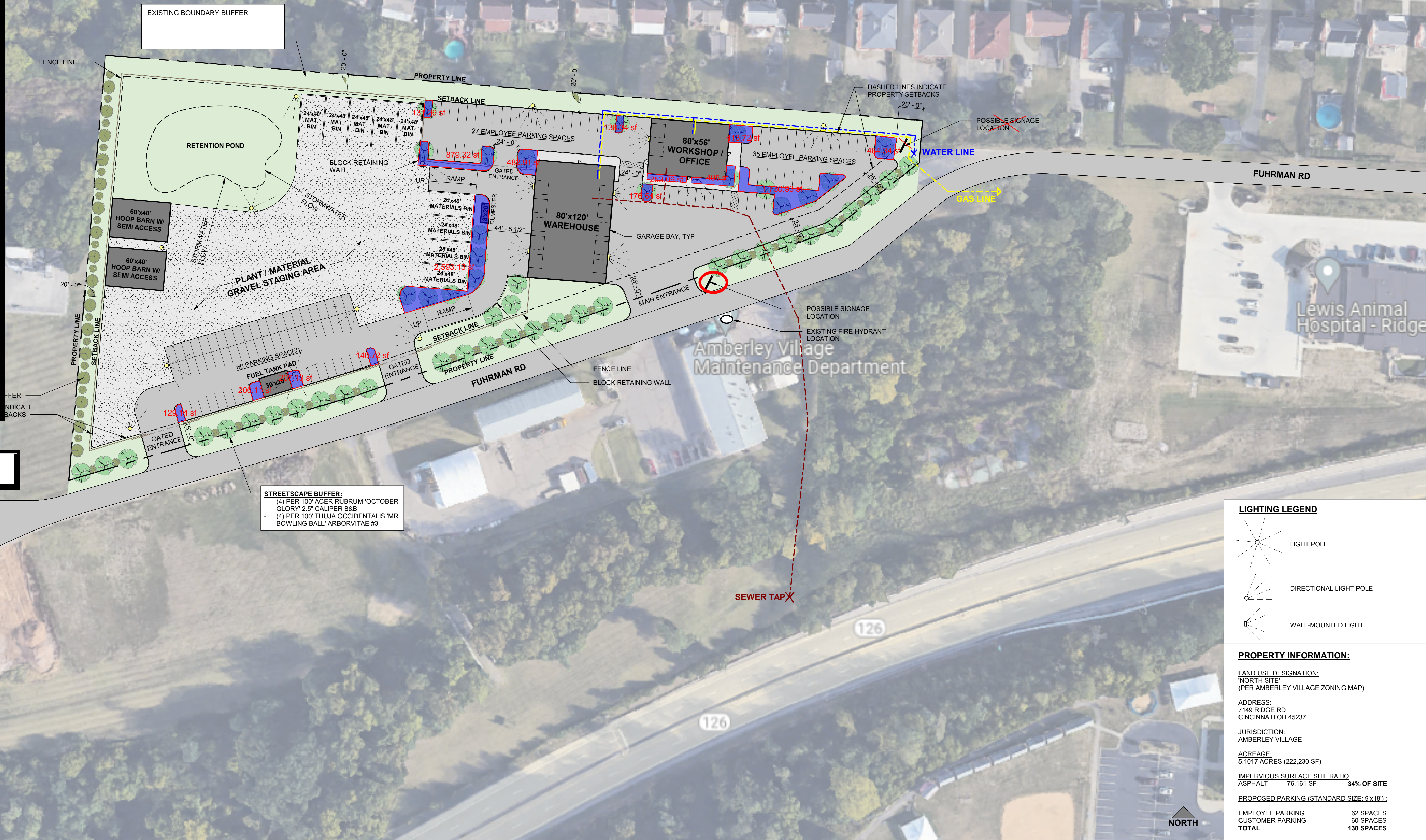
\_\_\_\_\_  
Homeowner's Phone Number

\_\_\_\_\_  
Contractor's Phone Number

J.P. Burleigh, attorney for applicant Integrity Green Landscaping, LLC

Island	SF
1	129.14
2	206.11
3	207.13
4	140.72
5	2593.13
6	879.32
7	482.91
8	131.26
9	138.34
10	176.54
11	253.09
12	405
13	413.72
14	1730.93
15	464.34
<b>Total</b>	<b>8351.68</b>

Trees in islands	19
------------------	----



**LIGHTING LEGEND**

	LIGHT POLE
	DIRECTIONAL LIGHT POLE
	WALL-MOUNTED LIGHT

**PROPERTY INFORMATION:**

**LAND USE DESIGNATION:**  
"NORTH SITE"  
(PER AMBERLEY VILLAGE ZONING MAP)

**ADDRESS:**  
7149 RIDGE RD  
CINCINNATI OH 45237

**JURISDICTION:**  
AMBERLEY VILLAGE

**ACREAGE:**  
5.1017 ACRES (222,230 SF)

**IMPERVIOUS SURFACE SITE RATIO**

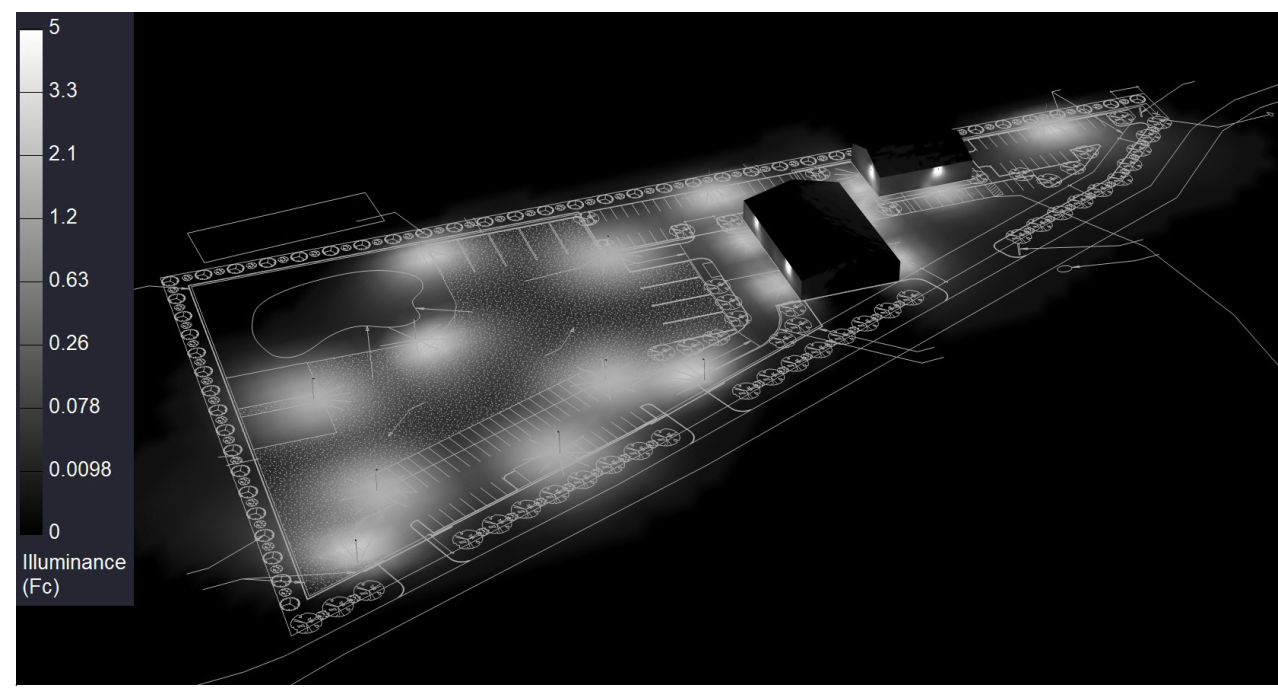
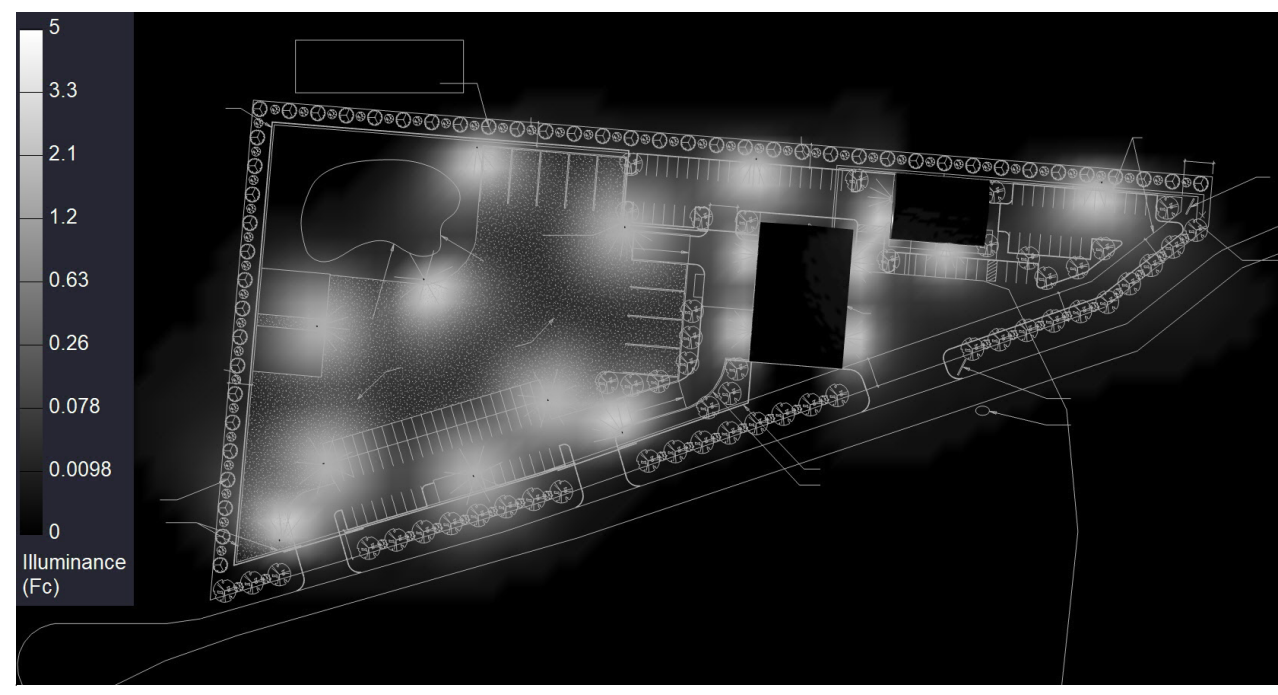
ASPHALT	76,161 SF	34% OF SITE
---------	-----------	-------------

**PROPOSED PARKING (STANDARD SIZE: 9'x18'):**

EMPLOYEE PARKING	62 SPACES
CUSTOMER PARKING	60 SPACES
<b>TOTAL</b>	<b>130 SPACES</b>



Scale: 1 inch = 40 Ft.



NOTES:

- \* The light loss factor (LLF) is a product of many variables. RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.
- \* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- \* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- \* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- \* RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area (EPA) of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.
- \* The landscape material shown herein is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
- \* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.
- \* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/ip.
- \* The Lighting Analysis, E2Layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.
- \* RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.
- \* RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only; is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.
- \* Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpLr	PtSpTb	Meter Type
Parking	Illuminance	Fc	0.61	7.1	0.0	N.A.	N.A.	readings taken 0'-0" afg	10	10	Horizontal
Plant Material - Gravel Staging	Illuminance	Fc	0.42	4.0	0.0	N.A.	N.A.	readings taken 0'-0" afg	10	10	Horizontal
Property Line - Non Resi Adj	Illuminance	Fc	0.02	0.4	0.0	N.A.	N.A.	readings taken 0'-0" afg	10	N.A.	Horizontal
Property Line - Residential Adj	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	readings taken 0'-0" afg	10	N.A.	Horizontal
Site	Illuminance	Fc	0.16	6.8	0.0	N.A.	N.A.	readings taken 0'-0" afg	10	10	Horizontal

Luminaire Tag Summary	
Tag	Qty
P1	1
P1 - HSS	5
P2	5
W1	6

Luminaire Schedule													
All quotes/orders generated from this layout must be forwarded to the Local Rep Agency													
SYM	Qty	Tag	Label	ARR	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	BUG Rating	Mounting Height
P1	1	P1	ALED54TN @ 40 W	Single	5735	5735	1.000	Pole mounted (Type IV) on 3' base	40.9	40.9	40.9	B1-U0-G2	18
P1	5	P1 - HSS	ALED54TN @ 40 W + Back Shield	Single	5393	5393	1.000	Pole mounted (Type IV) + ALED5HS (Back Only) on 3' base	40.6	40.6	203	B1-U0-G2	18
P2	5	P2	ALED55TN @ 40 W	Single	6353	6353	1.000	Pole mounted (Type V) on 3' base	42.1	42.1	210.5	B3-U0-G1	18
W1	6	W1	SLIM15N @ 34 W	Single	3696	3696	1.000	Wall mounted	34.4	34.4	206.4	B1-U0-G1	16

The Lighting Analysis, E2Layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

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Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

PROJECT # 239560	Scale: as noted
CASE # 01450980	Date: 10/29/2024
Filename: Integrity Green Development 01450980A.AGI	Job Name: Integrity Green (Cincinnati, OH) Lighting Layout Version A
Drawn By: K. Gonzales, LC	

Prepared For:  
 Cooper Electrical Sales  
 2470 Duckcreek Road  
 Cincinnati, OH 45212  
 Tel: 513-351-7800

Filename: F:\INTEGRITY GREEN\Working Files\AGI\Integrity Green Development 01450980A.AGI





Color: Bronze

Weight: 13.2 lbs

<b>Project:</b>	<b>Type:</b>
<b>Prepared By:</b>	<b>Date:</b>

Driver Info		LED Info	
Type	Constant Current	Watts	80W
120V	0.67A	Color Temp	4000K (Neutral)
208V	0.40A	Color Accuracy	82/82/83 CRI
240V	0.34A	L70 Lifespan	100,000 Hours
277V	0.30A	Lumens	5735/7895/10616 lm
Input Watts	40.9/58.1/82.0W	Efficacy	140.2/135.9/129.5 lm/W

**Technical Specifications**

**Field Adjustability**

**Field Adjustable (Wattage):**

Field adjustable light output in 3 discrete steps:  
Small Housing: 80W/60W/40W (factory default 80W)

**Compliance**

**UL Listed:**

Suitable for wet locations

**IP Rating:**

Ingress protection rating of IP66 for dust and water

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**Trade Agreements Act Compliant:**

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

**DLC Listed:**

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.  
DLC Product Code: S-YQSW2A

**LED Characteristics**

**LEDs:**

Long-life, high-efficacy, discrete, surface-mount LEDs

**Color Consistency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

**Color Stability:**

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

**Color Uniformity:**

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

**Electrical**

**Driver:**

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

**Dimming Driver:**

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

**THD:**

2.22% at 120V, 7.07% at 277V

**Power Factor:**

99.9% at 120V, 96.6% at 277V

**Surge Protection:**

Line to Line: 10kV  
Line to Ground: 6kV

**Performance**

**Lifespan:**

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**Wattage Equivalency:**

Equivalent to 250W Metal Halide

**Construction**

**IES Classification:**

The Type IV distribution is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**Technical Specifications (continued)****Cold Weather Starting:**

The minimum starting temperature is -40°C (-40°F)

**Ambient Temperature :**

Max Power Temp Rating: 40°C (104°F)

Middle Power Temp Rating: 52°C (125°F)

Low Power Temp Rating: 58°C (137°F)

**Housing:**

Die-cast aluminum

**Mounting:**

Universal mounting arm compatible for hole spacing patterns from 1" to 3" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease.

**Reflector:**

Aluminum reflector with white polycarbonate

**Vibration Rating:**

3G vibration rating per ANSI C136.31

**Effective Projected Area:**

1 Fixture: 0.35

2 Fixtures at 90°: 0.54

2 Fixtures at 180°: 0.7

3 Fixtures at 90°: 0.9

4 Fixtures at 90°: 0.9

**Gaskets:**

High-temperature silicone gaskets

**Finish:**

Formulated for high durability and long-lasting color

**Green Technology:**

Mercury and UV free. RoHS-compliant components.

**Optical****Bug Rating:**

80W: B1 U0 G2

60W: B1 U0 G2

40W: B1 U0 G2

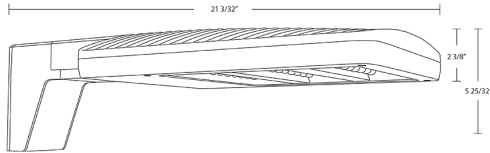
**Other****Warranty:**

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

**Buy American Act Compliance:**

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
ALED	S	4T		N			
	<b>M</b> = Medium (150W/90W/78W) <b>L</b> = Large (260W/220W/170W) <b>XL</b> = Extra Large (385W/345W/300W) <b>S</b> = Small (80W/60W/40W)	<b>2T</b> = Type II <b>3T</b> = Type III <b>4T</b> = Type IV <b>5T</b> = Type V <b>AT</b> = Auto Dealership Optic	<b>Blank</b> = Universal Pole Mount <b>SF</b> = Slipfitter <b>WM</b> = Wall Mount	<b>Blank</b> = 5000K Cool <b>Y</b> = 3000K Warm <b>N</b> = 4000K Neutral	<b>Blank</b> = Bronze <b>W</b> = White <b>B</b> = Black	<b>Blank</b> = 120-277V, 0-10V Dimming <b>/480</b> = 480V, 0-10V Dimming <sup>1</sup>	<b>Blank</b> = No Option <b>/7PR</b> = 7 Pin Twistlock Receptacle <b>/WS2</b> = Wattstopper, 20ft lens <b>/WS4</b> = Wattstopper, 40ft lens <sup>2</sup>

<sup>1</sup> 480V available in Medium, Large & Extra Large fixtures only  
<sup>2</sup> Wattstopper option available in Large & Extra Large fixtures only



Color: Bronze



Weight: 13.2 lbs

<b>Project:</b>	<b>Type:</b>
<b>Prepared By:</b>	<b>Date:</b>

Driver Info		LED Info	
Type	Constant Current	Watts	80W
120V	0.67A	Color Temp	4000K (Neutral)
208V	0.40A	Color Accuracy	82/82/83 CRI
240V	0.34A	L70 Lifespan	100,000 Hours
277V	0.30A	Lumens	5735/7895/10616 lm
Input Watts	40.9/58.1/82.0W	Efficacy	140.2/135.9/129.5 lm/W

## Technical Specifications

### Field Adjustability

#### Field Adjustable (Wattage):

Field adjustable light output in 3 discrete steps:  
Small Housing: 80W/60W/40W (factory default 80W)

### Compliance

#### UL Listed:

Suitable for wet locations

#### IP Rating:

Ingress protection rating of IP66 for dust and water

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

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#### LEDs:

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### Electrical

#### Driver:

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60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

### Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

#### THD:

2.22% at 120V, 7.07% at 277V

#### Power Factor:

99.9% at 120V, 96.6% at 277V

#### Surge Protection:

Line to Line: 10kV  
Line to Ground: 6kV

### Performance

#### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

#### Wattage Equivalency:

Equivalent to 250W Metal Halide

### Construction

#### IES Classification:

The Type IV distribution is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

## Technical Specifications (continued)

### Cold Weather Starting:

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Low Power Temp Rating: 58°C (137°F)

### Housing:

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### Reflector:

Aluminum reflector with white polycarbonate

### Vibration Rating:

3G vibration rating per ANSI C136.31

### Effective Projected Area:

1 Fixture: 0.35

2 Fixtures at 90°: 0.54

2 Fixtures at 180°: 0.7

3 Fixtures at 90°: 0.9

4 Fixtures at 90°: 0.9

### Gaskets:

High-temperature silicone gaskets

### Finish:

Formulated for high durability and long-lasting color

### Green Technology:

Mercury and UV free. RoHS-compliant components.

## Optical

### Bug Rating:

80W: B1 U0 G2

60W: B1 U0 G2

40W: B1 U0 G2

## Other

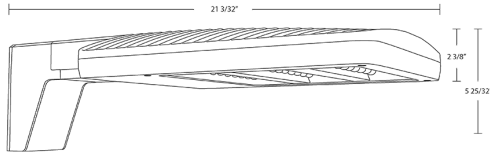
### Warranty:

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### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

### Dimensions: ALEDS4TN



### Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

### Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
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<b>Project:</b>	<b>Type:</b>
<b>Prepared By:</b>	<b>Date:</b>

Driver Info		LED Info	
Type	Constant Current	Watts	80W
120V	0.67A	Color Temp	4000K (Neutral)
208V	0.40A	Color Accuracy	82 CRI
240V	0.34A	L70 Lifespan	100,000 Hours
277V	0.30A	Lumens	6353/8746/11760 lm
Input Watts	42.1/59.8/84.4W	Efficacy	150.9/146.3/139.3 lm/W

**Technical Specifications**

**Field Adjustability**

**Field Adjustable (Wattage):**

Field adjustable light output in 3 discrete steps:  
Small Housing: 80W/60W/40W (factory default 80W)

**Compliance**

**UL Listed:**

Suitable for wet locations

**IP Rating:**

Ingress protection rating of IP66 for dust and water

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**DLC Listed:**

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: S-K4QV28

**LED Characteristics**

**LEDs:**

Long-life, high-efficiency, discrete, surface-mount LEDs

**Color Consistency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

**Color Stability:**

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

**Color Uniformity:**

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2017.

**Electrical**

**Driver:**

40W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.34A, 208V: 0.20A, 240V: 0.17A, 277V: 0.15A

60W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.50A, 208V: 0.30A, 240V: 0.25A, 277V: 0.22A

80W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.67A, 208V: 0.40A, 240V: 0.34A, 277V: 0.30A

**Dimming Driver:**

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

**THD:**

2.01% at 120V, 6.71% at 277V

**Power Factor:**

99.9% at 120V, 96.8% at 277V

**Surge Protection:**

Line to Line: 10kV  
Line to Ground: 6kV

**Performance**

**Lifespan:**

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**Wattage Equivalency:**

Equivalent to 250W Metal Halide

**Construction**

**IES Classification:**

The Type V distribution produces light in a wide and uniform 360° pattern that is perfect for large outdoor areas such as parking lots, corporate parks and retail settings

**Cold Weather Starting:**

The minimum starting temperature is -40°C (-40°F)

## Technical Specifications (continued)

### Ambient Temperature :

Max Power Temp Rating: 40°C (104°F)  
Middle Power Temp Rating: 52°C (125°F)  
Low Power Temp Rating: 58°C (137°F)

### Housing:

Die-cast aluminum

### Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 3" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease.

### Reflector:

Aluminum reflector with white polycarbonate

### Vibration Rating:

3G vibration rating per ANSI C136.31

### Effective Projected Area:

1 Fixture: 0.35  
2 Fixtures at 90°: 0.54  
2 Fixtures at 180°: 0.7  
3 Fixtures at 90°: 0.9  
4 Fixtures at 90°: 0.9

### Gaskets:

High-temperature silicone gaskets

### Finish:

Formulated for high durability and long-lasting color

### Green Technology:

Mercury and UV free. RoHS-compliant components.

## Optical

---

### Bug Rating:

80W: B3-U0-G2  
60W: B3 U0 G1  
40W: B3 U0 G1

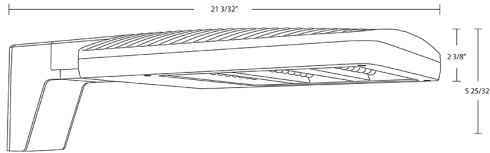
## Other

---

### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- 0-10V dimmable standard
- IP66 Rated
- 100,000-Hour LED lifespan
- 10-Year, No-Compromise Warranty

Ordering Matrix

Family	Housing Size	Distribution	Mounting	Color Temp	Finish	Voltage	Options
ALED	S	5T		N			
	<b>M</b> = Medium (150W/90W/78W) <b>L</b> = Large (260W/220W/170W) <b>XL</b> = Extra Large (385W/345W/300W) <b>S</b> = Small (80W/60W/40W)	<b>2T</b> = Type II <b>3T</b> = Type III <b>4T</b> = Type IV <b>5T</b> = Type V <b>AT</b> = Auto Dealership Optic	<b>Blank</b> = Universal Pole Mount <b>SF</b> = Slipfitter <b>WM</b> = Wall Mount	<b>Blank</b> = 5000K Cool <b>Y</b> = 3000K Warm <b>N</b> = 4000K Neutral	<b>Blank</b> = Bronze <b>W</b> = White <b>B</b> = Black	<b>Blank</b> = 120-277V, 0-10V Dimming <b>/480</b> = 480V, 0-10V Dimming <sup>1</sup>	<b>Blank</b> = No Option <b>/7PR</b> = 7 Pin Twistlock Receptacle <b>/WS2</b> = Wattstopper, 20ft lens <b>/WS4</b> = Wattstopper, 40ft lens <sup>2</sup>

<sup>1</sup> 480V available in Medium, Large & Extra Large fixtures only  
<sup>2</sup> Wattstopper option available in Large & Extra Large fixtures only



Color: Bronze

Weight: 2.0 lbs

<b>Project:</b>	<b>Type:</b>
<b>Prepared By:</b>	<b>Date:</b>

Driver Info		LED Info	
Type	Constant Current	Watts	34/25/13W
120V	0.30A/0.21A/0.11A	Color Temp	4000K
208V	N/A	Color Accuracy	84/85/85 CRI
240V	N/A	L70 Lifespan	50,000 Hours
277V	N/A	Lumens	3,695/2,711/1,398 lm
Input Watts	34.4/24.3/12.3W	Efficacy	107.4/111.6/113.7 lm/W

**Technical Specifications**

**Field Adjustability**

**Field Adjustable:**

Field Adjustable Light Output:  
34/25/13 (factory default 34W)

**Compliance**

**UL Listed:**

Suitable for wet locations

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**IP Rating:**

Ingress protection rating of IP65 for dust and water

**Trade Agreements Act Compliant:**

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

**DLC Listed:**

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.  
DLC Product Code: S-IFESPR

**Performance**

**Lifespan:**

50,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

**Wattage Equivalency:**

34W: Replaces up to 150W Metal Halide (MH) or 100W High Pressure Sodium (HPS)

25W: Replaces up to 100W Metal Halide (MH) or 100W High Pressure Sodium (HPS)

13W: Replaces up to 70W Metal Halide (MH) or 50W High Pressure Sodium (HPS)

**LED Characteristics**

**LEDs:**

Long-life, high-efficiency, surface-mount LEDs

**Color Consistency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

**Construction**

**Cold Weather Starting:**

The minimum starting temperature is -40°C (-40°F)

**Maximum Ambient Temperature:**

Suitable for use in up to 40°C (104°F)

**Housing:**

Precision die-cast aluminum / Polycarbonate

**Lens:**

Polycarbonate lens

**Reflector:**

Mirror finish on polycarbonate

**Mounting:**

Hinged wiring access and conduit entries on the back sides, top and bottom make installation a snap

**Finish:**

Formulated for high durability and long-lasting color

**Green Technology:**

Mercury and UV free. RoHS-compliant components.

**Electrical**

**Driver:**

Integrated driver, 60 Hz, 120V:  
34W: 0.30A  
25W: 0.21A  
13W: 0.11A

**THD:**

12.56% at 120V

**Power Factor:**

99.2% at 120V

## Technical Specifications (continued)

**Surge Protection:**  
4kV

### Optical

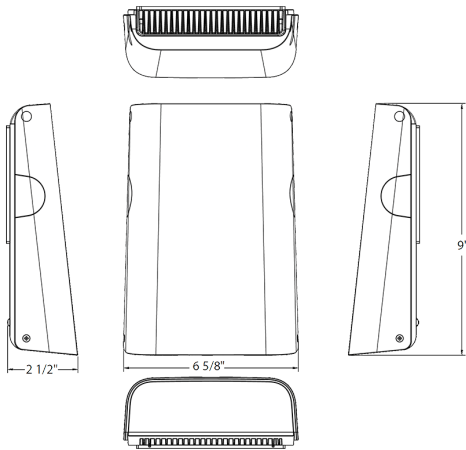
**BUG Rating:**  
34W: B1 U0 G1  
25W: B1 U0 G1  
13W: B1 U0 G0

### Other

**5 Yr Limited Warranty:**  
The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

**Buy American Act Compliance:**  
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

## Dimensions



## Features

- Selectable Wattages
- Full cutoff
- 120V
- 5-Year, limited warranty

## Ordering Matrix

Family	Wattage	Color Temp	Finish	Voltage
SLIM15		N		
	Blank = 34/25/13W	Blank = 5000K N = 4000K	Blank = Bronze W = White	Blank = 120V



Color: Bronze

Weight: 91.0 lbs

Project:	Type:
Prepared By:	Date:

**Technical Specifications**

**Compliance**

**CSA Listed:**

Suitable for wet locations

**Performance**

**Description:**

Steel pole 4" round 11 gauge 15 foot drilled two sides square base

**Construction**

**Shaft:**

46,000 p.s.i. minimum yield.

**Hand Holes:**

Reinforced with grounding lug and removable cover

**Base Plates:**

Slotted base plates 36,000 p.s.i.

**Color:**

Bronze powder coating

**Height:**

15 ft

**Gauge:**

11

**Wall Thickness:**

1/8"

**Shaft Size:**

4"

**Anchor Bolt Templates:**

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

**Max EPA's/Max Weights:**

- 70MPH 11.7 ft/650 lb.
- 80MPH 8.5 ft/595 lb.
- 90MPH 6.2 ft/530 lb.
- 100MPH 4.6 ft/430 lb.
- 110MPH 3.4 ft/325 lb.
- 120MPH 2.5 ft/295lb.
- 130MPH 1.8 ft/220 lb.
- 140MPH 1.3 ft/200 lb.
- 150MPH 0.8 ft/165 lb

**Accessories:**

Base/Cap: [BCK-R4](#)  
Anchor Bolts: [BOLT4/11](#)

**Other**

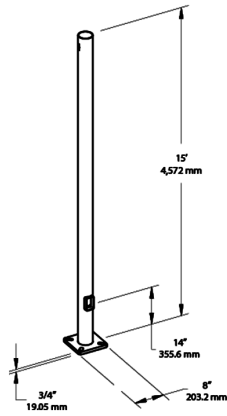
**Terms of Sale:**

Pole Terms of Sale is available [online](#).

**Buy American Act Compliance:**

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

**Dimensions**

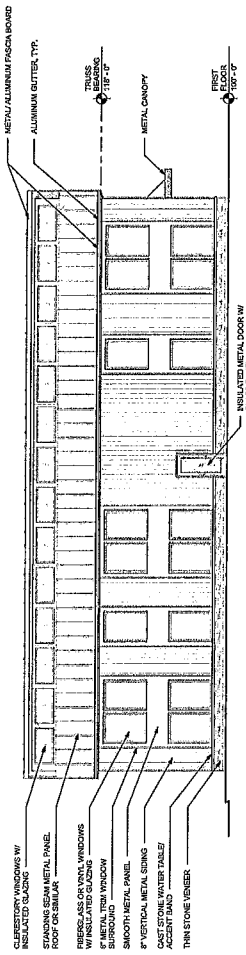


**Features**

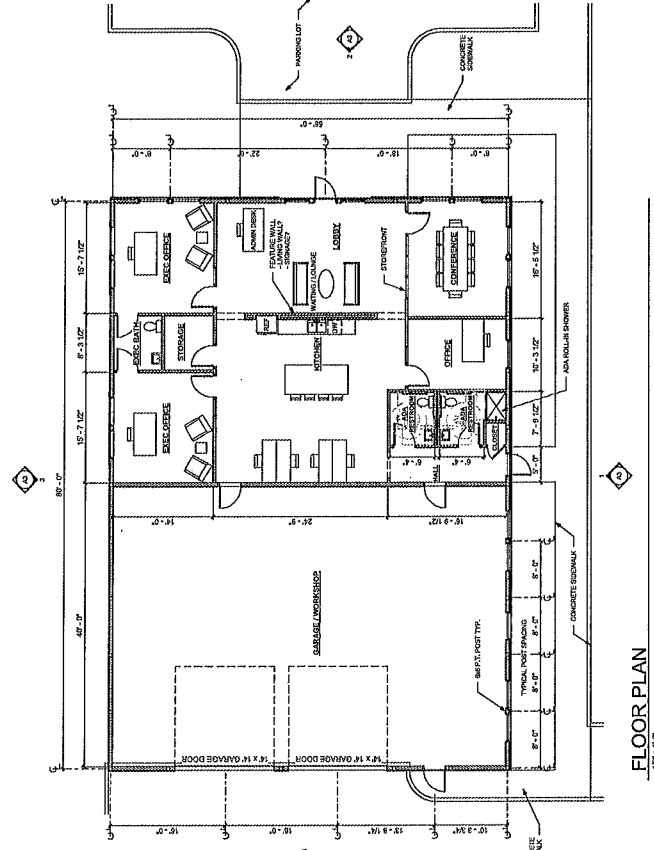
- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Pole caps, base covers & bolts are sold separately
- Custom manufactured for each application

**Ordering Matrix**

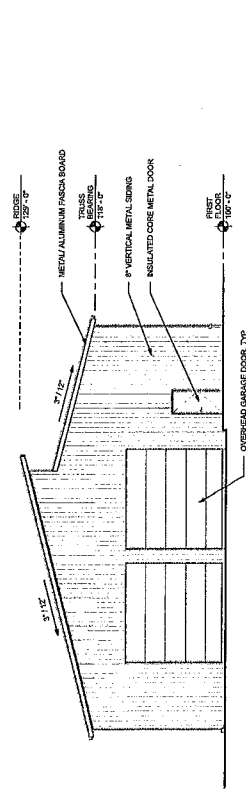
Family	Shape	Size	Gauge	Height	Drilled/Welded Tenon
P	R	4	11	15	D2
	R = Round	4 = 4"	7 = 7	10 = 10'	D2 = Drilled
	TR = Tapered Round	5 = 5"	11 = 11	15 = 15'	WT = Welded Tenon
		6 = 6"		20 = 20'	
		7 = 7"		25 = 25'	
		8 = 8"		30 = 30'	



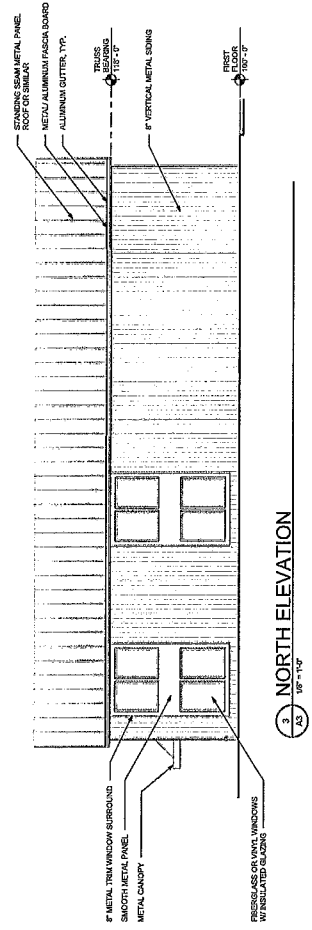
1 SOUTH ELEVATION  
1/8" = 1'-0"



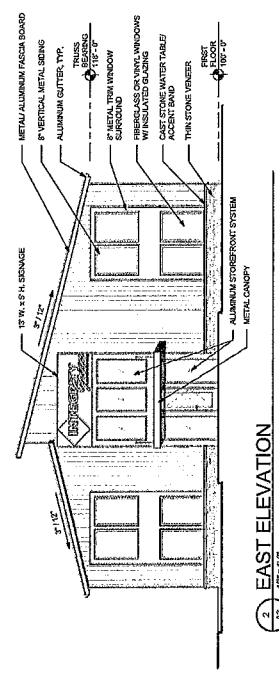
FLOOR PLAN  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

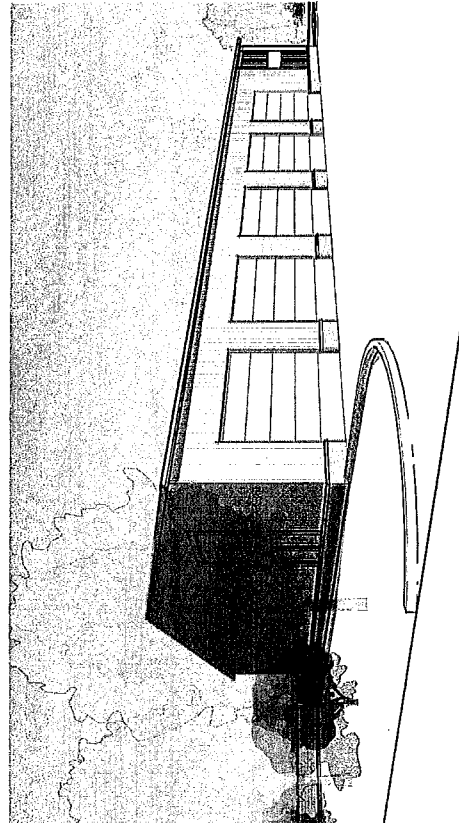
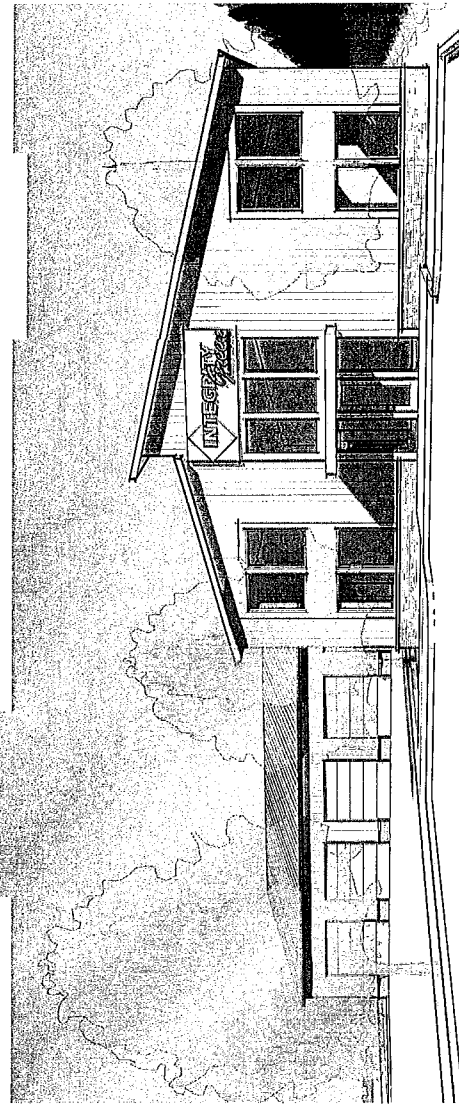
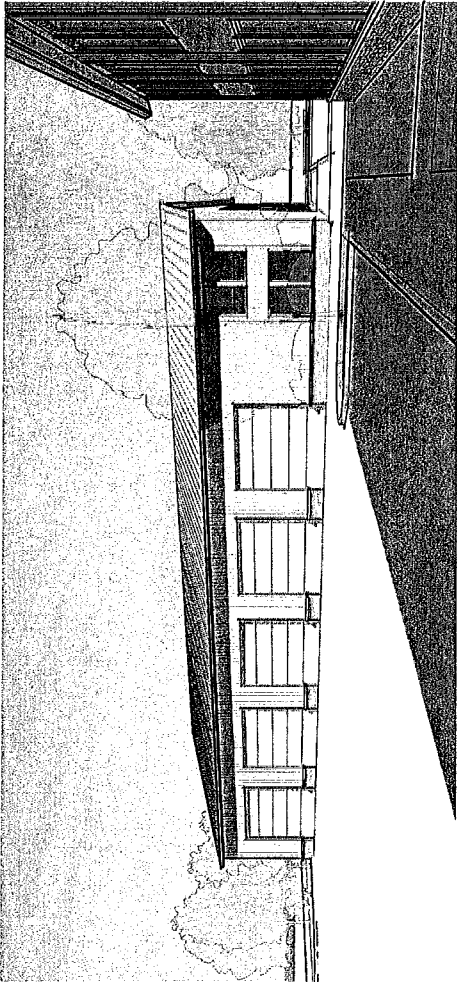
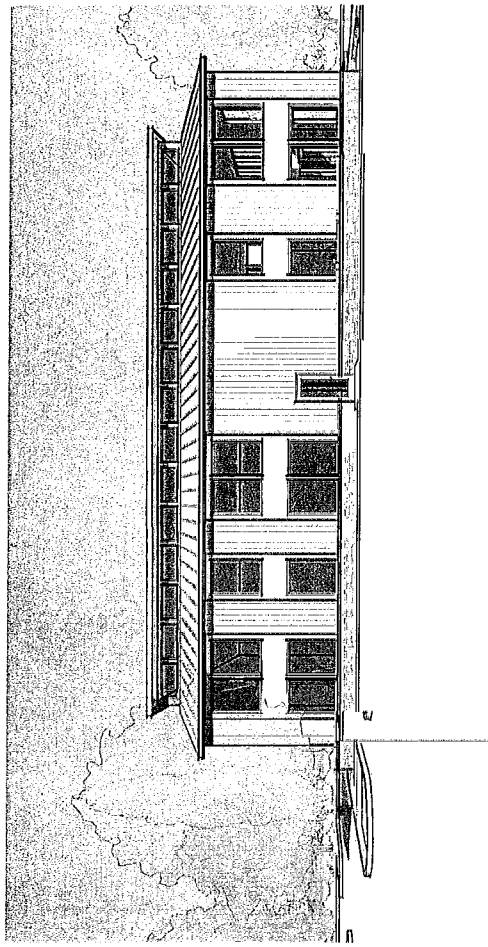
DESIGN DOCUMENT ONLY  
NOT FOR CONSTRUCTION

16.11.2024

**INTEGRITY GREEN LANDSCAPING COMPLEX**  
8602 RIDGE ROAD, CINCINNATI OH 45237  
OFFICE WORKSHOP - CONCEPTUAL BUILDING PLANS

ANDERSON  
ARCHITECTURE  
DESIGNER  
PROJECT ARCHITECT  
F: 513.261.1111  
E: INFO@ANDERSONARCHITECT.COM

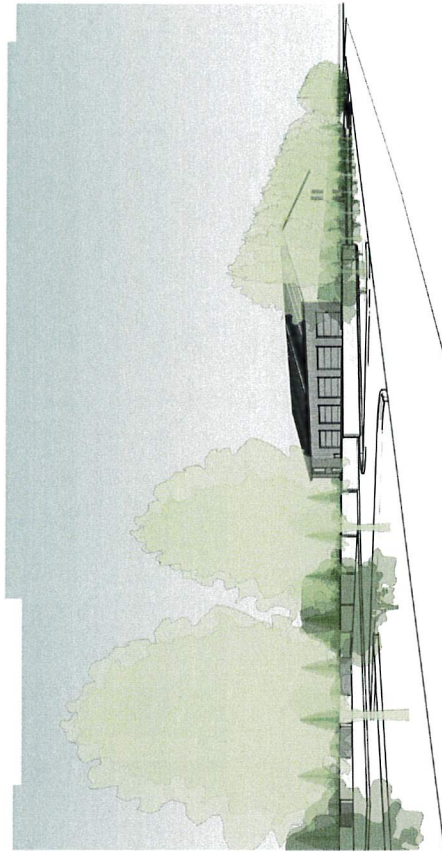
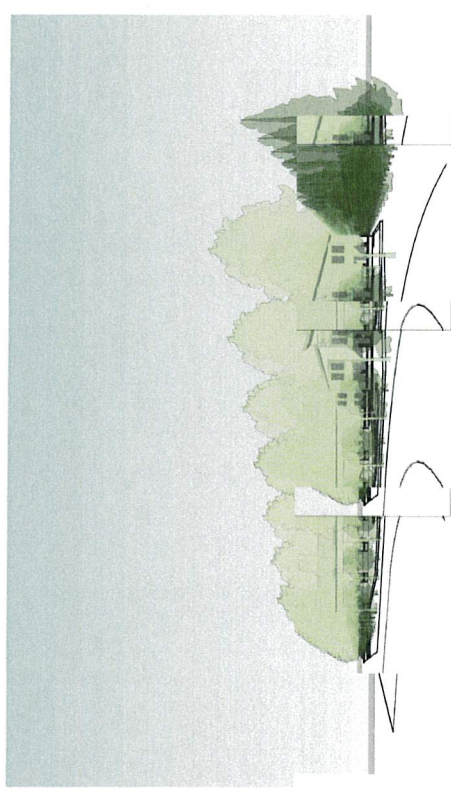




DESIGN DOCUMENT ONLY  
NOT FOR CONSTRUCTION  
12.11.2024

**INTEGRITY GREEN LANDSCAPING COMPLEX**  
8885 RICE LANE, CANTON, MISSISSIPPI 39207  
CONCEPTUAL 3D VIEWS

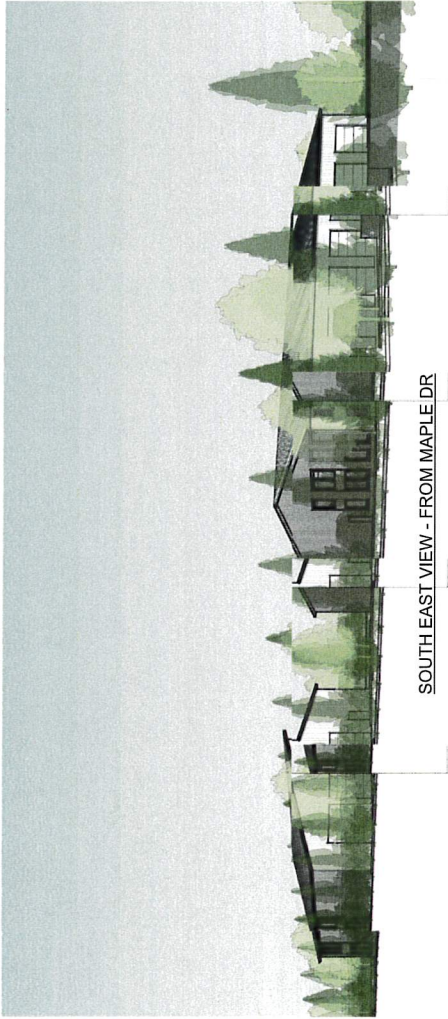
JAKE HENDERSON  
ARCHITECT  
E: JAKE@HENDERSONARCHITECT.COM  
P: 601.875.2179



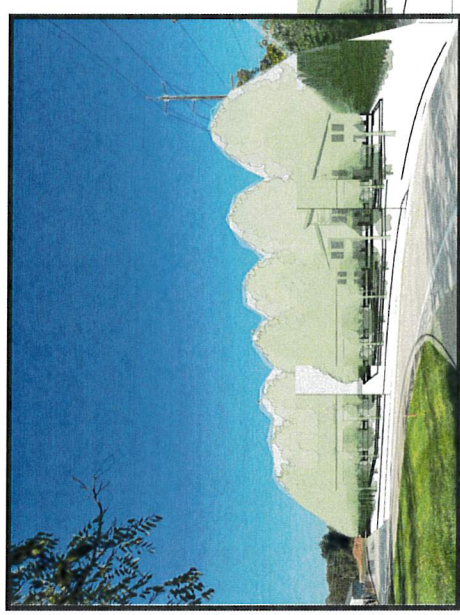
DESIGN DOCUMENT ONLY  
NOT FOR CONSTRUCTION  
10.11.2024

**INTEGRITY GREEN LANDSCAPING COMPLEX**  
8885 RIDGE ROAD, CANARYVALE, QLD 4227  
CONCEPTUAL 3D VIEWS

JAKE HENDERSON DESIGNER  
E: JAKE@HENDERSON12.COM.AU  
P: 0755432719



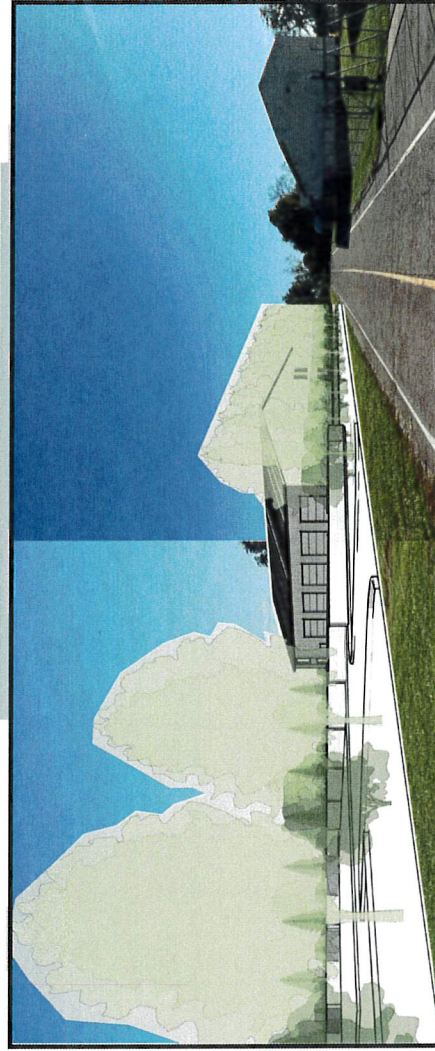
SOUTH EAST VIEW - FROM MAPLE DR



WESTERN VIEW - FROM FUHRMAN RD

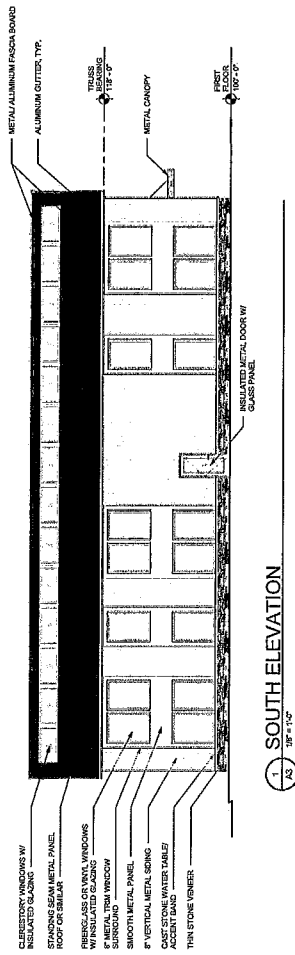


SOUTH WEST VIEW - FROM MAPLE DR

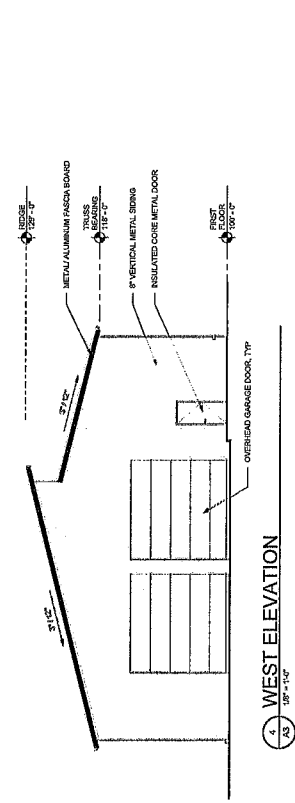
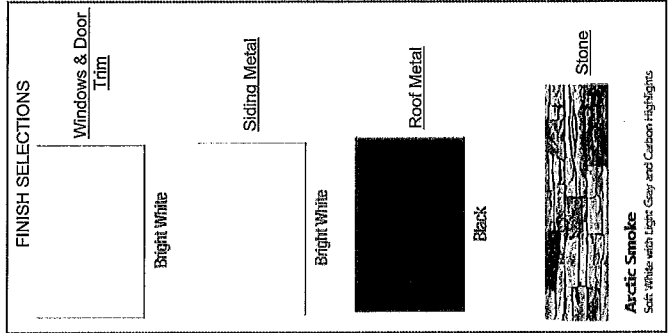


EASTERN VIEW - FROM FUHRMAN RD

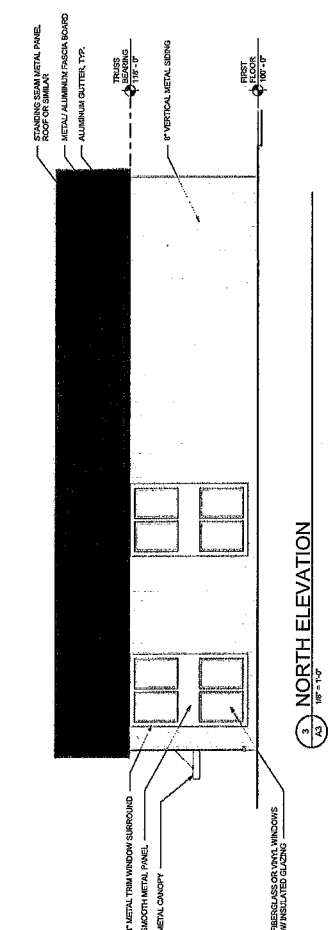
# PRELIMINARY COLOR SELECTIONS



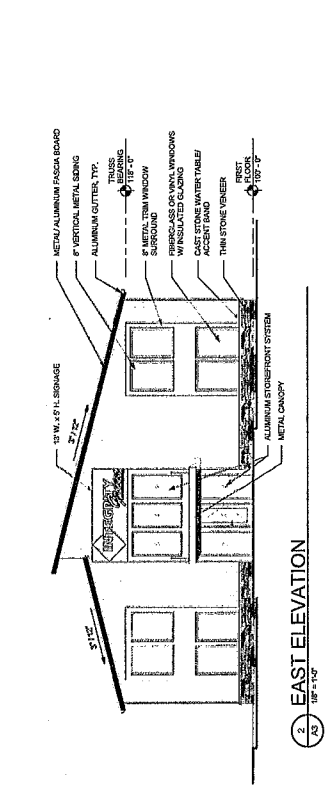
1 SOUTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

# PRELIMINARY COLOR SELECTIONS

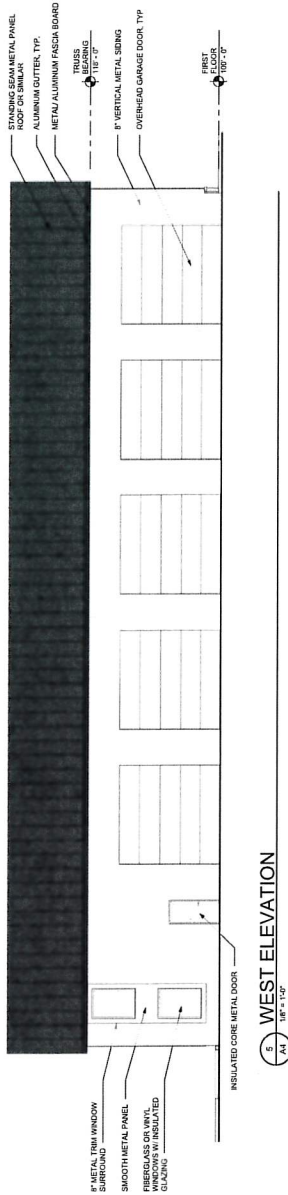
**FINISH SELECTIONS**

Windows & Door Trim  
Bright White

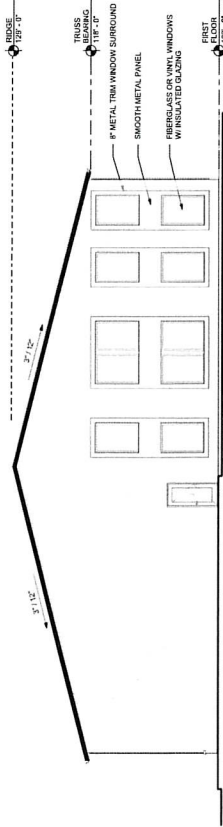
Siding Metal  
Bright White

Roof Metal  
Black

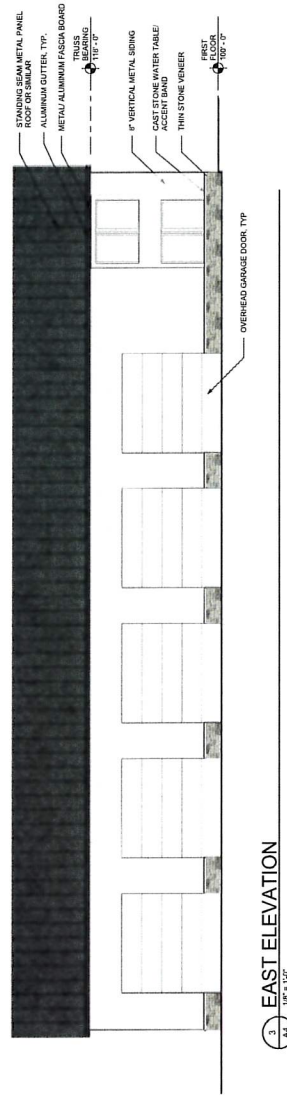
Stone  
**Arctic Smoke**  
Soft White with Light Gray and Carbon Highlights



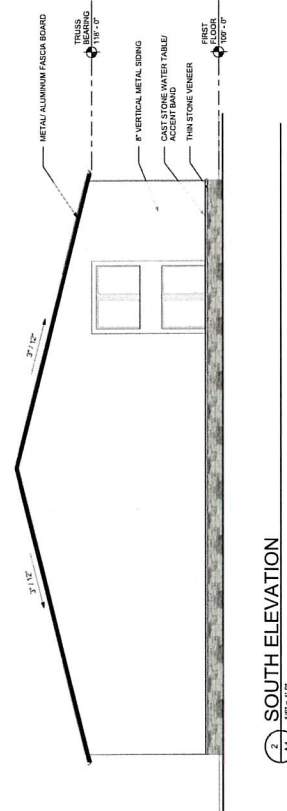
1 WEST ELEVATION  
1/8" = 1'-0"



4 NORTH ELEVATION  
1/8" = 1'-0"



3 EAST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"

# COLOR / DESIGN INSPIRATION



# EXISTING PROPERTY LANDSCAPE BUFFER PHOTO POSITIONS



PHOTO #2



PHOTO #1



PHOTO #4

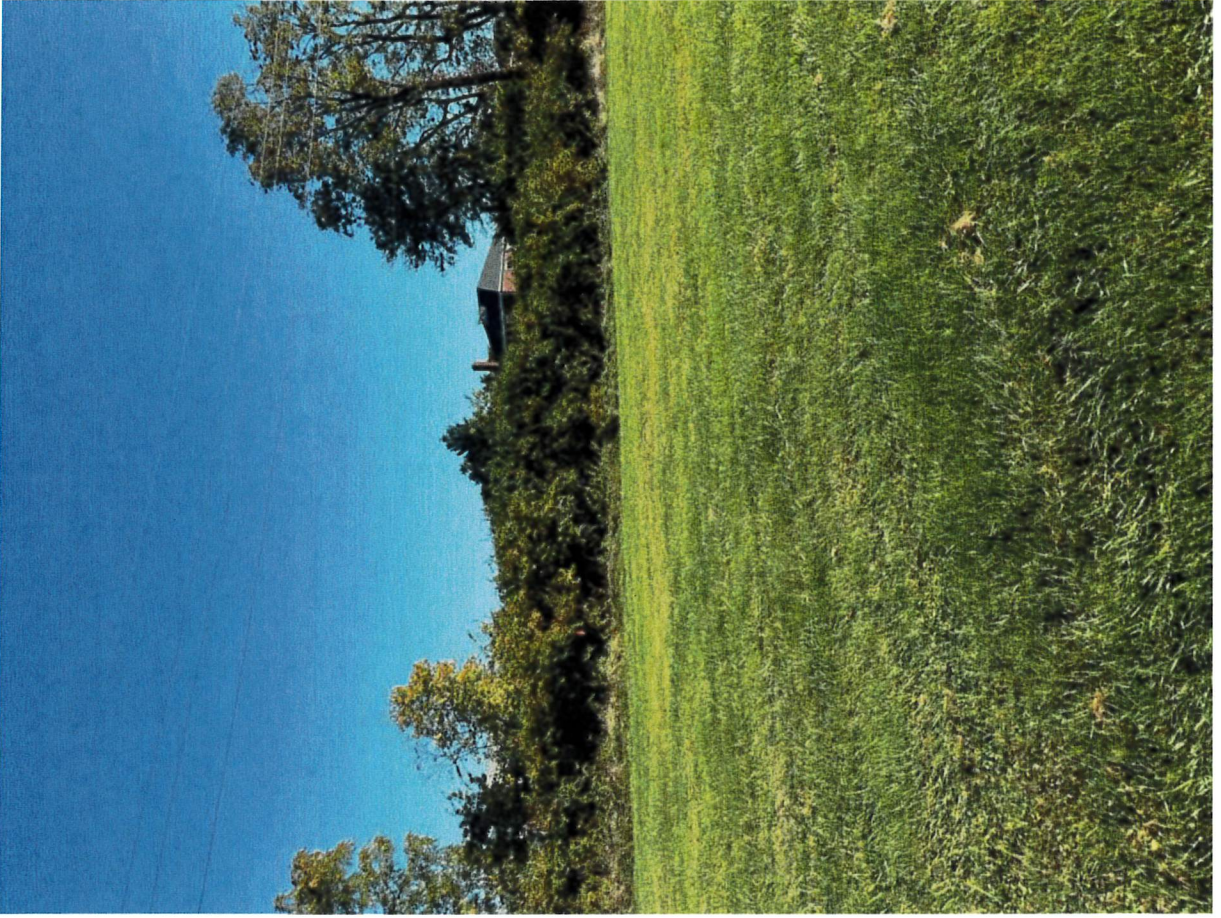


PHOTO #3

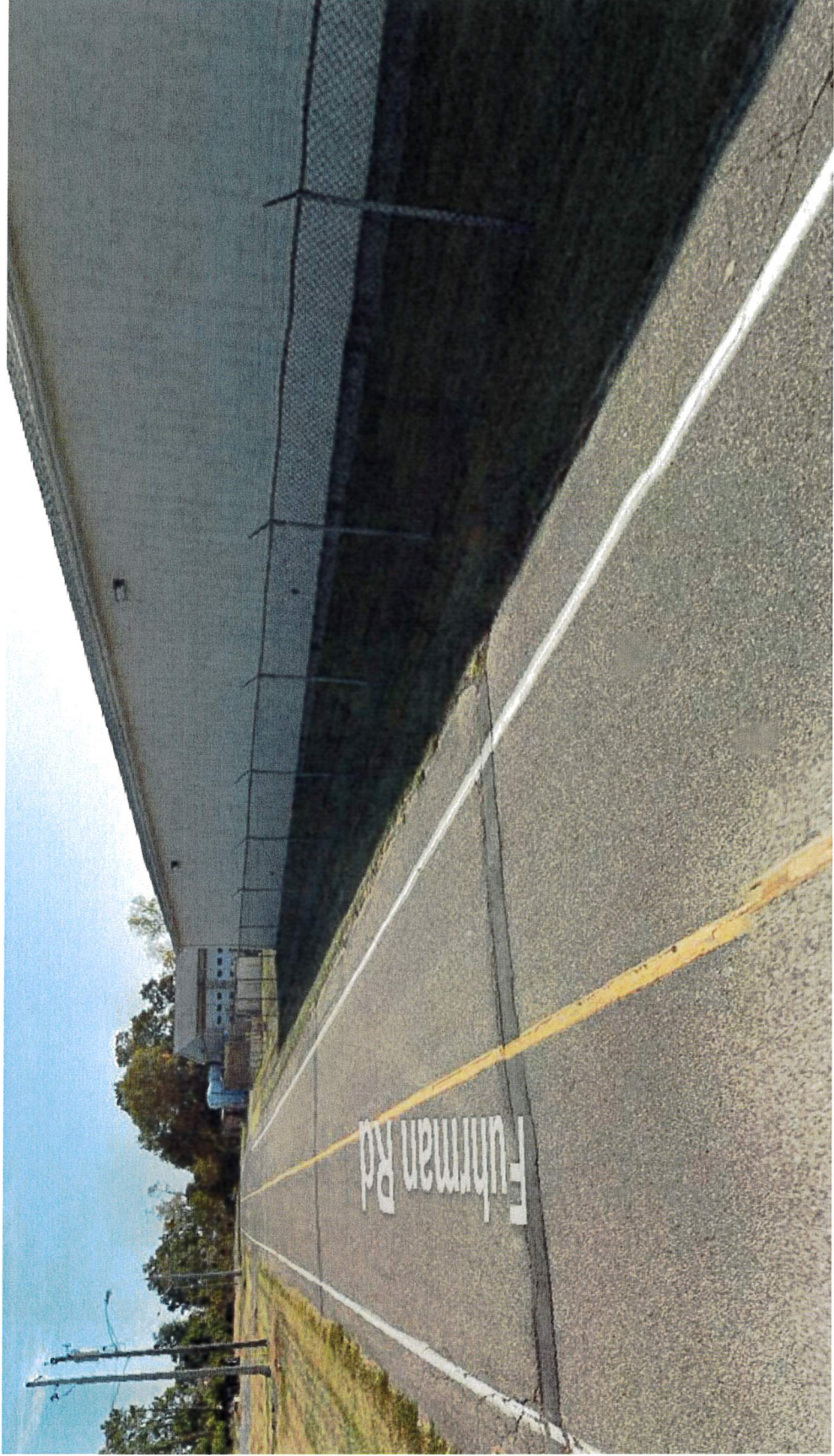


PHOTO #5



CURRENT AMBERLY FENCE  
OFF FUHRMAN DR

6' Chainlink with barbwire security arms at top



CURRENT AMBERLY METAL BUILDING  
OFF FUHRMAN DR



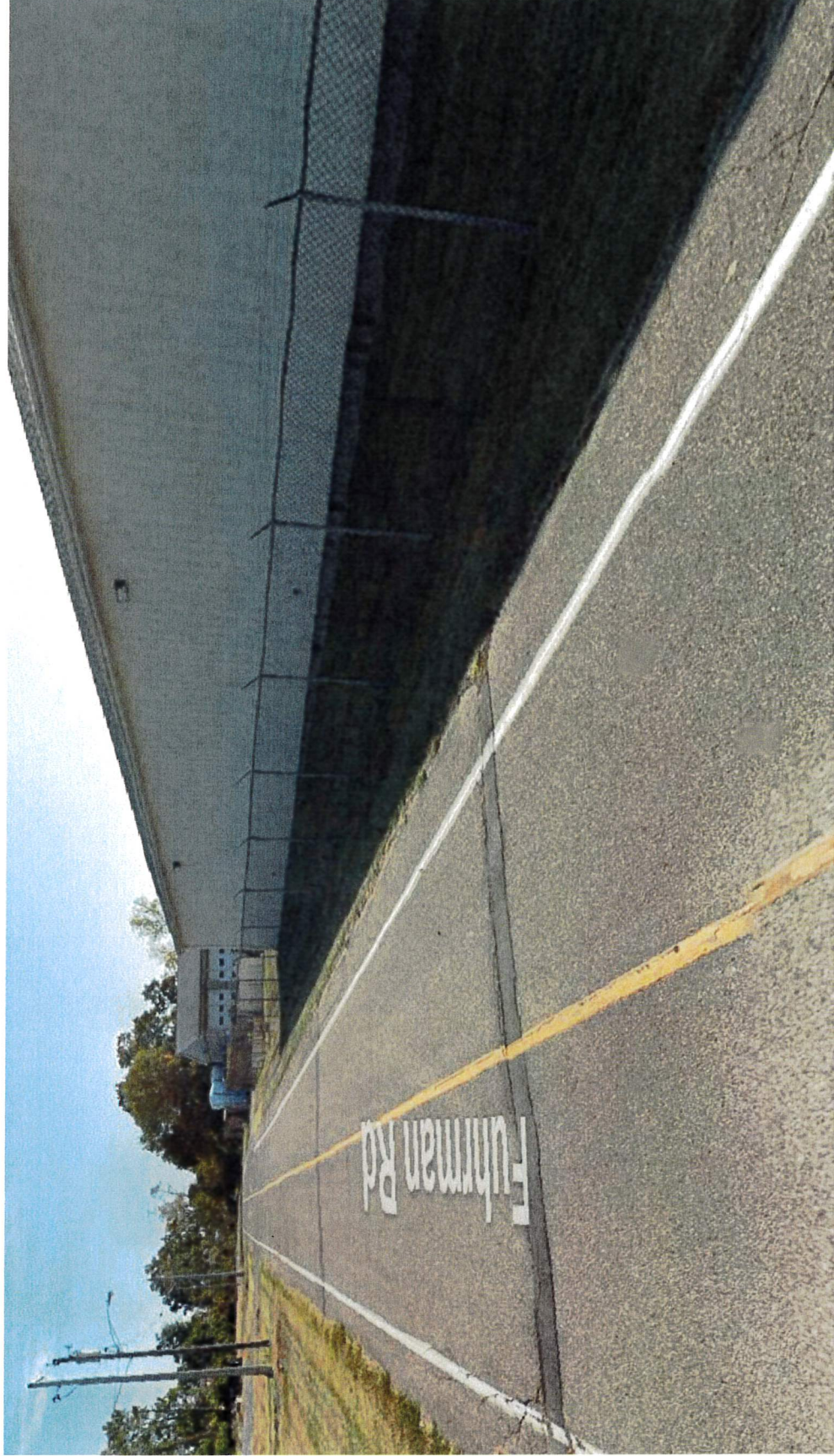
# CURRENT AMBERLY GATES OFF FUHRMAN DR

6' Chainlink Cantilever gate with barbwire security at top



# CURRENT AMBERLY FENCE OFF FUHRMAN DR

6' Chainlink with barbwire security arms at top

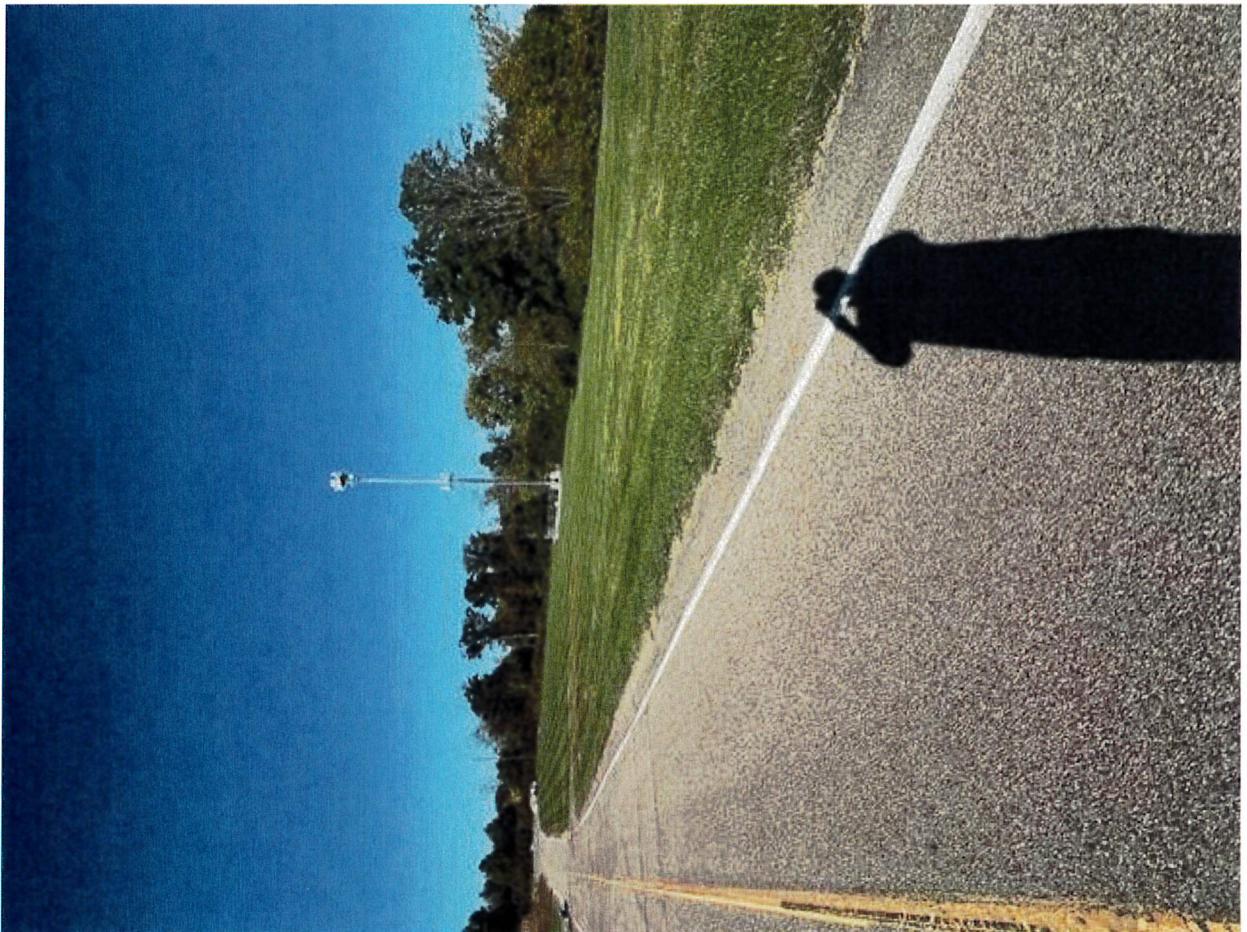


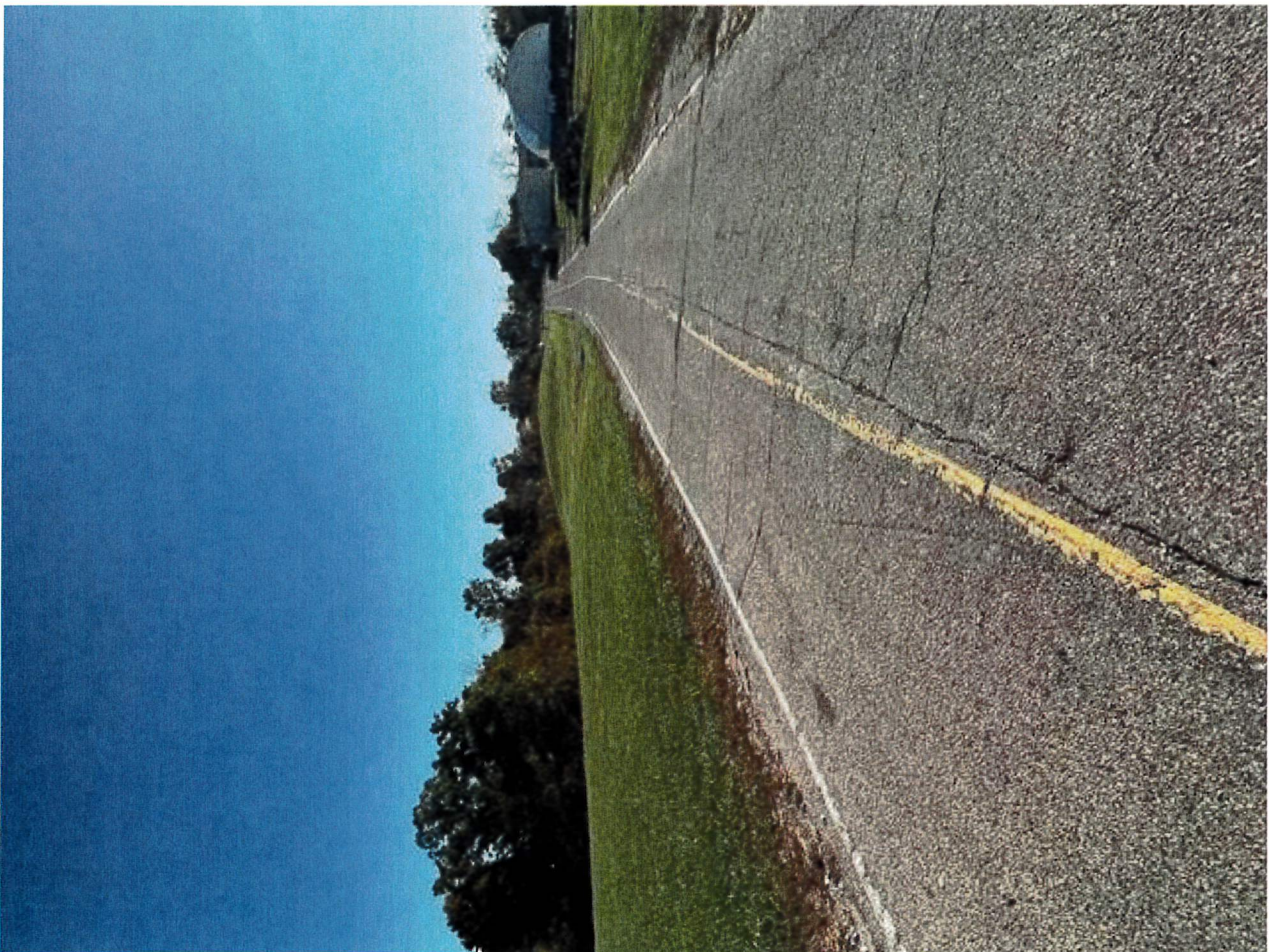
CURRENT AMBERLY HOOPBARN  
OFF FUHRMAN DR



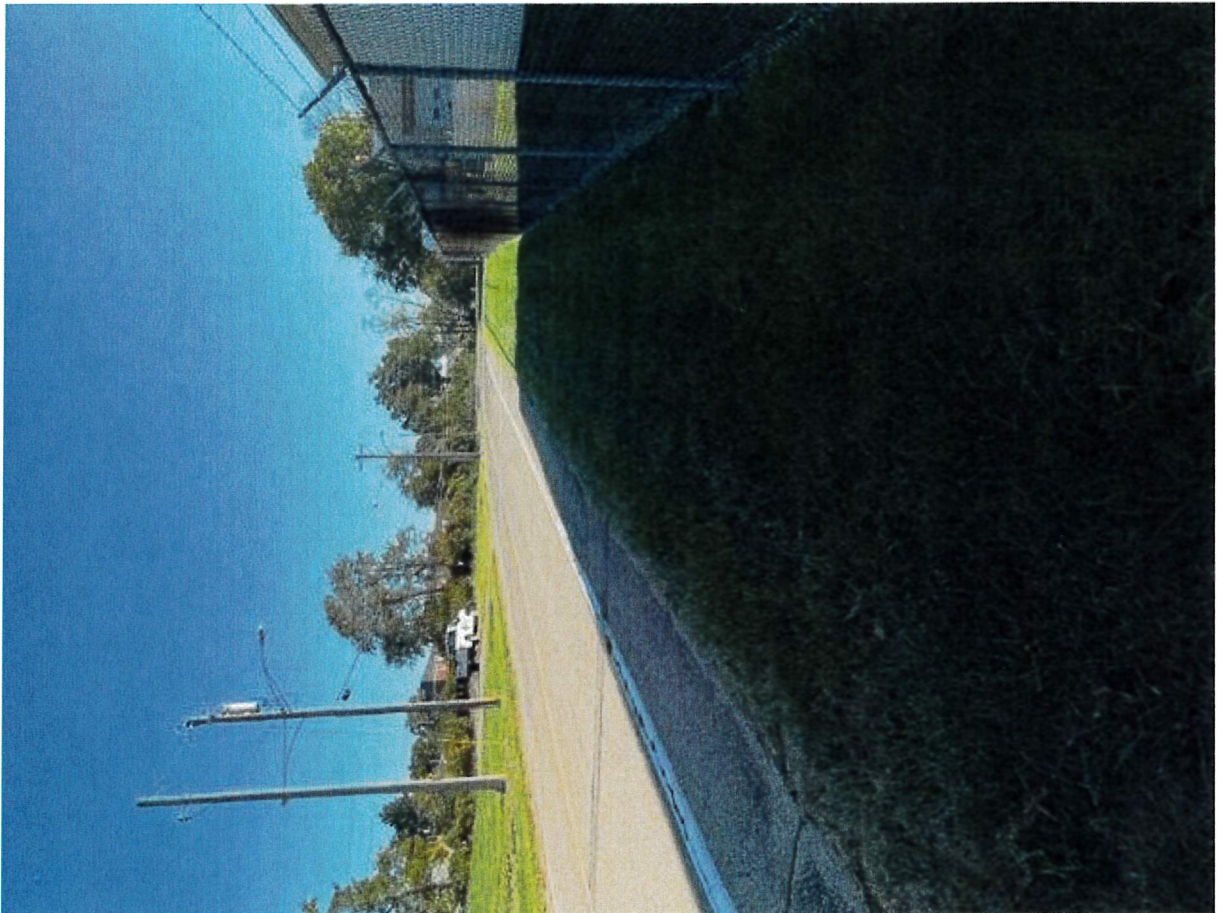
# MISC PHOTOS

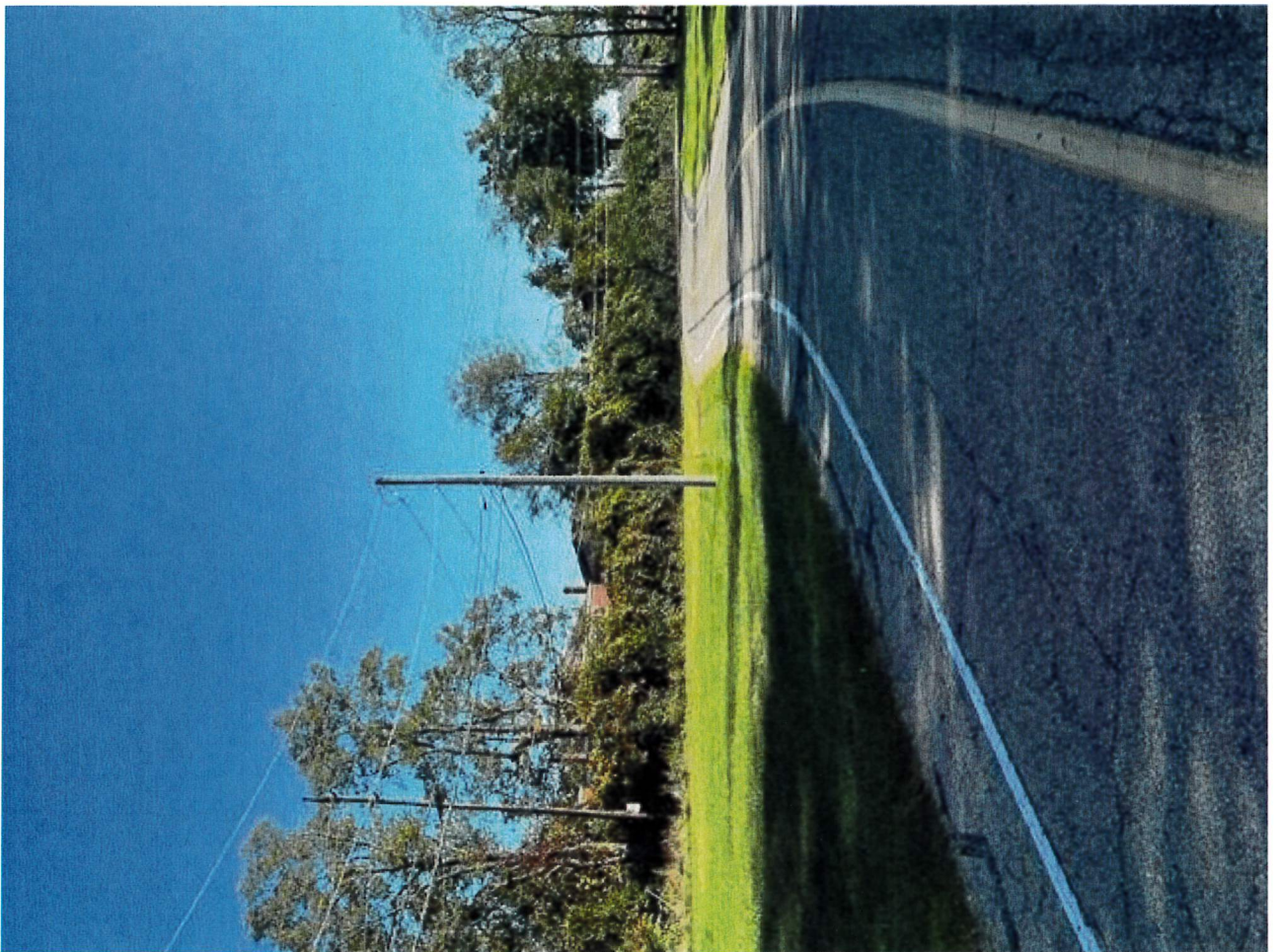












**PRELIMINARY**

ISSUED FOR:	PLAT
ISSUE DATE:	10/8/2024
SCALE:	1" = 100'
DRAWN BY:	SFR/A
CHECKED BY:	T.COOK

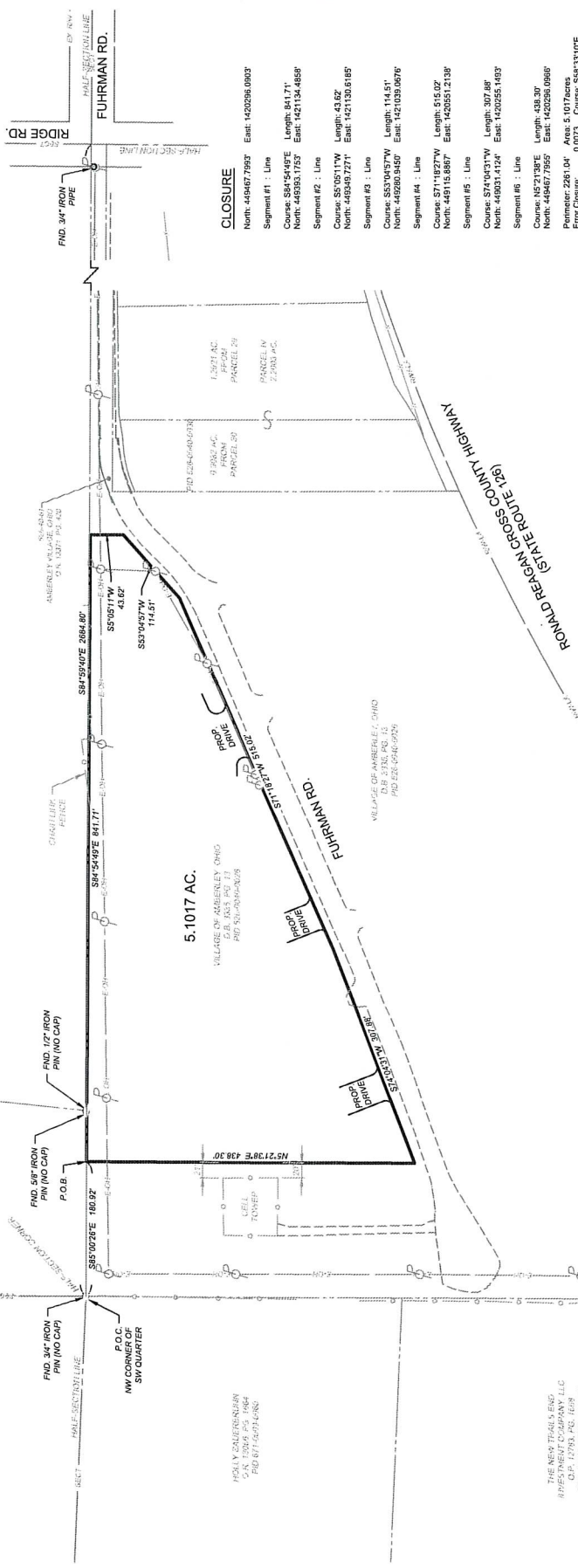
**DIVISION PLAT OF SURVEY**  
**8605 RIDGE ROAD**  
**CINCINNATI, OHIO**

SITUATED IN:  
 SECTION 26, TOWN 4, ENTIRE RANGE 1, BTM  
 SYCAMORE TOWNSHIP, MIAMI PURCHASE  
 VILLAGE OF AMBERLEY, HAMILTON COUNTY, OHIO

PROJECT NO.	242176
DISCIPLINE	SURVEY
SHEET	1
OF	1



NORTH AND BEARING SYSTEM BASED  
 ON NAD83 (2011) OHIO STATE PLANE,  
 SOUTH ZONE, US FOOT



**CLOSURE**  
 North: 45467.7952' East: 1420286.0903'  
 Segment #1 : Line  
 Course: S54°54'49"E Length: 841.71'  
 North: 45393.1753' East: 1421134.4858'  
 Segment #2 : Line  
 Course: S5°05'11"W Length: 43.62'  
 North: 49339.7271' East: 1421130.6185'  
 Segment #3 : Line  
 Course: S33°04'57"W Length: 114.51'  
 North: 452920.5452' East: 1421039.0676'  
 Segment #4 : Line  
 Course: S71°18'27"W Length: 515.02'  
 North: 449115.8867' East: 1420551.2139'  
 Segment #5 : Line  
 Course: S70°04'53"W Length: 307.89'  
 North: 44931.4124' East: 1420255.1432'  
 Segment #6 : Line  
 Course: N5°21'38"E Length: 438.30'  
 North: 45467.7952' East: 1420296.0906'  
 Perimeter: 2261.04' Area: 5.1017 Acres  
 Error Closure: 0.0073' Course: S58°33'10"E  
 Error North: -0.00383' East: 0.00226'  
 Precision: 1:30973151

**SURVEYOR'S LEGEND**  
 ■ 3/4" x 3/4" IRON PIN SET, CAPPED  
 □ 1/2" x 1/2" x 1/2" x 1/2" IRON PIN FOUND (SIZE NOTED)  
 ○ IRON PIPE FOUND (SIZE NOTED)  
 ⊗ STONE FOUND

**SURVEYOR'S NOTES**  
 EXISTING MONUMENTATION IS IN GOOD, USABLE CONDITION UNLESS OTHERWISE NOTED HEREON.  
 SET MONUMENTATION IS AS NOTED HEREON.  
 NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY, AND IS SUBJECT TO ANY ADDITIONAL INFORMATION FOUND BY A TITLE EXAMINATION.  
 LINES OF OCCUPATION, WHERE THEY EXIST, GENERALLY AGREE WITH BOUNDARY LINES.  
 DATA SOURCES INCLUDE:

**SURVEYOR'S CERTIFICATION**  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH THE OHIO MINIMUM SURVEYING STANDARDS.  
 FIELD WORK COMPLETED ON SEPTEMBER 19, 2023  
 CT CONSULTANTS

**PRELIMINARY**  
 TERRY W. COOK  
 OHIO REGISTERED PROFESSIONAL SURVEYOR  
 NO. 7950 IN THE STATE OF OHIO

**OWNER / CLIENT**  
 AMBERLEY VILLAGE  
 7145 RIDGE ROAD  
 CINCINNATI, OH 45237

**PROPERTY ADDRESS**  
 8605 RIDGE ROAD  
 CINCINNATI, OH 45237

**SURVEYOR'S ADDRESS**  
 CT CONSULTANTS, INC.  
 INTEGRITY TOWER BUILDING  
 4420 COOPER ROAD, SUITE 200  
 CINCINNATI, OH 45242



**INTEGRITY - EXHIBIT A**

J.P. DEVELOPMENT  
 INVESTMENTS, LLC  
 P.O. BOX 4999  
 CINCINNATI, OH 45241

SETH J. & BRIGGETTE A. REDDING  
 P.O. BOX 146034  
 CINCINNATI, OH 45246

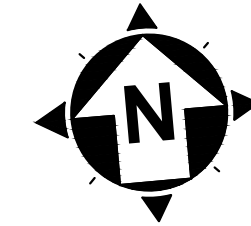
P.O.C.  
 MW CORNER OF  
 SW QUARTER

THE NEW TRAILS END  
 INVESTMENT COMPANY, LLC  
 C/O J.P. DEVELOPMENT, LLC  
 P.O. BOX 4999  
 CINCINNATI, OH 45241

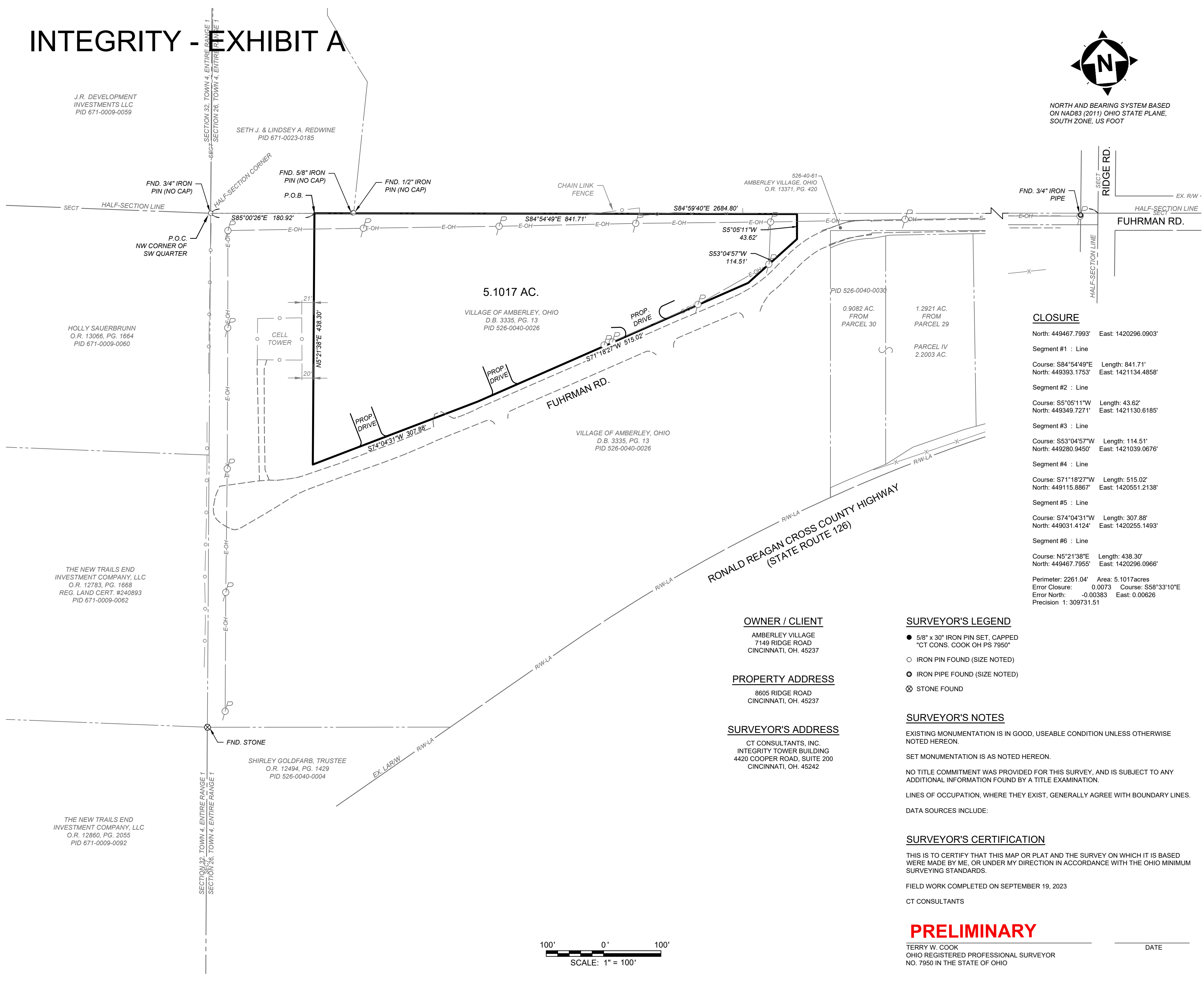
THE NEW TRAILS END  
 INVESTMENT COMPANY, LLC  
 C/O J.P. DEVELOPMENT, LLC  
 P.O. BOX 4999  
 CINCINNATI, OH 45241

THE NEW TRAILS END  
 INVESTMENT COMPANY, LLC  
 C/O J.P. DEVELOPMENT, LLC  
 P.O. BOX 4999  
 CINCINNATI, OH 45241

# INTEGRITY - EXHIBIT A



NORTH AND BEARING SYSTEM BASED ON NAD83 (2011) OHIO STATE PLANE, SOUTH ZONE, US FOOT



J.R. DEVELOPMENT INVESTMENTS LLC  
PID 671-0009-0059

SETH J. & LINDSEY A. REDWINE  
PID 671-0023-0185

HOLLY SAUERBRUNN  
O.R. 13066, PG. 1664  
PID 671-0009-0060

THE NEW TRAILS END INVESTMENT COMPANY, LLC  
O.R. 12783, PG. 1668  
REG. LAND CERT. #240893  
PID 671-0009-0062

THE NEW TRAILS END INVESTMENT COMPANY, LLC  
O.R. 12860, PG. 2055  
PID 671-0009-0092

SHIRLEY GOLDFARB, TRUSTEE  
O.R. 12494, PG. 1429  
PID 526-0040-0004

5.1017 AC.

VILLAGE OF AMBERLEY, OHIO  
D.B. 3335, PG. 13  
PID 526-0040-0026

VILLAGE OF AMBERLEY, OHIO  
D.B. 3335, PG. 13  
PID 526-0040-0026

RONALD REAGAN CROSS COUNTY HIGHWAY  
(STATE ROUTE 126)

### OWNER / CLIENT

AMBERLEY VILLAGE  
7149 RIDGE ROAD  
CINCINNATI, OH. 45237

### PROPERTY ADDRESS

8605 RIDGE ROAD  
CINCINNATI, OH. 45237

### SURVEYOR'S ADDRESS

CT CONSULTANTS, INC.  
INTEGRITY TOWER BUILDING  
4420 COOPER ROAD, SUITE 200  
CINCINNATI, OH. 45242

### SURVEYOR'S LEGEND

- 5/8" x 30" IRON PIN SET, CAPPED  
"CT CONS. COOK OH PS 7950"
- IRON PIN FOUND (SIZE NOTED)
- IRON PIPE FOUND (SIZE NOTED)
- ⊗ STONE FOUND

### SURVEYOR'S NOTES

EXISTING MONUMENTATION IS IN GOOD, USEABLE CONDITION UNLESS OTHERWISE NOTED HEREON.

SET MONUMENTATION IS AS NOTED HEREON.

NO TITLE COMMITMENT WAS PROVIDED FOR THIS SURVEY, AND IS SUBJECT TO ANY ADDITIONAL INFORMATION FOUND BY A TITLE EXAMINATION.

LINE OF OCCUPATION, WHERE THEY EXIST, GENERALLY AGREE WITH BOUNDARY LINES.

DATA SOURCES INCLUDE:

### SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE BY ME, OR UNDER MY DIRECTION IN ACCORDANCE WITH THE OHIO MINIMUM SURVEYING STANDARDS.

FIELD WORK COMPLETED ON SEPTEMBER 19, 2023

CT CONSULTANTS

**PRELIMINARY**

TERRY W. COOK  
OHIO REGISTERED PROFESSIONAL SURVEYOR  
NO. 7950 IN THE STATE OF OHIO

DATE

### CLOSURE

North: 449467.7993' East: 1420296.0903'

Segment #1 : Line

Course: S84°54'49"E Length: 841.71'  
North: 449393.1753' East: 1421134.4858'

Segment #2 : Line

Course: S5°05'11"W Length: 43.62'  
North: 449349.7271' East: 1421130.6185'

Segment #3 : Line

Course: S53°04'57"W Length: 114.51'  
North: 449280.9450' East: 1421039.0676'

Segment #4 : Line

Course: S71°18'27"W Length: 515.02'  
North: 449115.8867' East: 1420551.2138'

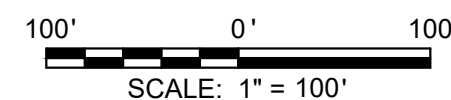
Segment #5 : Line

Course: S74°04'31"W Length: 307.88'  
North: 449031.4124' East: 1420255.1493'

Segment #6 : Line

Course: N5°21'38"E Length: 438.30'  
North: 449467.7955' East: 1420296.0966'

Perimeter: 2261.04' Area: 5.1017 acres  
Error Closure: 0.0073 Course: S58°33'10"E  
Error North: -0.00383 East: 0.00626  
Precision 1: 309731.51



**PRELIMINARY**

your trusted advisor  
consultants

engineers  
architects  
planners

ISSUED FOR:	PLAT
ISSUE DATE:	10/09/2024
SCALE:	1" = 100'
DRAWN BY:	SFRA
CHECKED BY:	TCOOK

**DIVISION PLAT OF SURVEY**  
8605 RIDGE ROAD  
CINCINNATI, OHIO

SITUATED IN:  
SECTION 26, TOWN 4, ENTIRE RANGE 1 BTM  
SYCAMORE TOWNSHIP, MIAMI PURCHASE  
VILLAGE OF AMBERLEY, HAMILTON COUNTY, OHIO

PROJECT NO.	
242176	
DISCIPLINE	
SURVEY	
SHEET	OF
1	1

# INTEGRITY - EXHIBIT B-1



EXISTING BOUNDARY LINE - GREEN GRANT  
 - REMOVE ALL EXISTING TREES  
 - REMOVE ALL EXISTING SHRUBS  
 - REMOVE ALL EXISTING FENCES

BOUNDARY LINE  
 - EXISTING BOUNDARY LINE TO REMAIN AS SHOWN  
 - EXISTING BOUNDARY LINE TO BE REMOVED

EXISTING BOUNDARY LINE  
 - EXISTING BOUNDARY LINE TO REMAIN AS SHOWN  
 - EXISTING BOUNDARY LINE TO BE REMOVED

**LIGHTING LEGEND**

- LIGHT POLE
- DIRECTIONAL LIGHT POLE
- WALL MOUNTED LIGHT

**PROPERTY INFORMATION**

LAND USE DESIGNATION: COMMERCIAL (C-2)

ADDRESS: 10000 INTEGRITY DR, WILSONVILLE, OR 97150

OWNER: INTEGRITY GREEN LANDSCAPING, LLC

DATE: 08/11/2024

SCALE: 1" = 40'

PROJECT: INTEGRITY GREEN LANDSCAPING COMPLEX

DESIGNED BY: JACOBSON ASSOCIATES  
 ARCHITECTURAL: JACOBSON ASSOCIATES  
 E: JACOBSON@JACOBSON.COM  
 P: 503.261.1111

## INTEGRITY GREEN LANDSCAPING COMPLEX

6000 INTEGRITY DR, WILSONVILLE, OR 97150  
 SITE DEVELOPMENT PLAN

DRAWING SCALE: 1" = 40'  
 DESIGN/CONTRACT DATE: 08/11/2024  
 NOT FOR CONSTRUCTION



AND INTERSECTION  
 E. JACOBSON@GMAIL.COM  
 E. JACOBSON@GMAIL.COM  
 E. JACOBSON@GMAIL.COM

**INTEGRITY GREEN LANDSCAPING COMPLEX**  
 8035 RIDGE ROAD  
 COUNTY OF OHIO

DRAWING SCALE: 1" = 100'  
 DESIGN OCCUPANCY DATE:  
 NOT FOR CONSTRUCTION  
 08/11/2014

## PROPERTY FENCE

Integrity Green is submitting for a 6' tall black vinyl coated chain-link fence to be installed at the perimeter fencing as identified on the site plan.



# CURRENT AMBERLY FENCE OFF FUHRMAN DR

6' Chainlink with barbwire security arms at top



# GATES

Integrity Green is submitting for a 6' tall black vinyl coated chain-link cantilever gate at 3 locations identified.



# CURRENT AMBERLY GATES OFF FUHRMAN DR

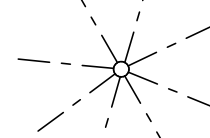
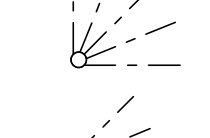
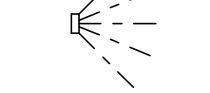
6' Chainlink Cantilever gate with barbwire security at top



# FENCING LOCATION IDENTIFIED



**LIGHTING LEGEND**

-  LIGHT POLE
-  DIRECTIONAL LIGHT POLE
-  WALL-MOUNTED LIGHT

**PROPERTY INFORMATION:**

LAND USE DESIGNATION:  
NORTH SITE  
(PER AMBERLEY VILLAGE ZONING MAP)

ADDRESS:  
7149 RIDGE RD  
CINCINNATI OH 45237

JURISDICTION:  
AMBERLEY VILLAGE

ACREAGE:  
5.569 ACRES (242,586 SF)

IMPERVIOUS SURFACE SITE RATIO  
ASPHALT 80,906 SF 33% OF SITE

PROPOSED PARKING (STANDARD SIZE: 9'x18'):

EMPLOYEE PARKING	70 SPACES
CUSTOMER PARKING	60 SPACES
<b>TOTAL</b>	<b>130 SPACES</b>

# FENCE SPECIFICATIONS



*Quality Products, Exceptional Service,  
Outstanding People*

# Spectra<sup>®</sup> Chain Link



# Spectra® Color Chain Link Recommendations

## FABRIC

Spectra® polyvinyl chloride extruded over zinc-coated steel core wire.

## FRAMEWORK - TYPE 2

Spectra® polyester resin, 3 mils minimum, over galvanized steel ASTM F 1043, Group 1C, with a minimum yield strength of 50,000 PSI. Protective coating per ASTM 1043, external coating Type B, zinc with organic overcoat, 0.9 ounces per square foot minimum zinc coating with chromate conversion coating and verifiable polymer film.

### Type 2 Residential

Fabric Gauge	9 gauge and 11 gauge finish
Fabric Mesh	1-1/4", 1-1/2", 1-3/4", and 2"
Fabric Height	3', 42", 4', 5', and 6'
Fabric Selvage	Knuckle - Knuckle (KK) for 5' and Under. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6'.

### Type 2 Commercial

6 gauge, 8 gauge, and 9 gauge finish 6 gauge is not available for 3/8" mesh or 1/2" mesh
3/8", 1/2", 5/8", 1", 1-1/4", 1-1/2", 1-3/4", and 2"
3', 42", 4', 5', 6', 7', 8', 9', 10', and 12'
Knuckle - Knuckle (KK) for 5' and under; for mesh sizes 1" and smaller. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6' and over.

Top Rail	1-3/8" O.D. Spectra® 17 Gauge or 16 Gauge
----------	---

1-5/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

Line Posts	1-5/8" O.D. Spectra® 17 Gauge or 16 Gauge
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1-7/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

2-3/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

Terminal Posts	1-7/8" O.D. Spectra® 16 Gauge
	2-3/8" O.D. Spectra® 16 Gauge

2-3/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

2-7/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

4" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

## Gates

Fabric	Same Gauge and Mesh as Chain Link Selected
Frame	Same as Top Rail Selected

## Fittings

Tension and Brace Bands	Polymer Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Pressed Steel
Caps, Eye Tops, Rail Ends	Polymer Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Pressed Steel or Aluminum
Sleeves	Polymer Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Steel
Tie Wires	Polymer Coating, 3 Mils Minimum, Over Zinc-Coated Steel Wire

## Slats - Privacy

Material Composition	Polyethylene Thermoplastic
Colors	Green, Black, Brown, Gray, Redwood, Blue, Desert Sand



Quality Products, Exceptional Service,  
Outstanding People

MasterHalco.com | 888-MH-Fence

Branch service centers are located throughout North America.

MH Digital ©9/18



Available from:



**Available Colors**

Choose from 3 serene colors that blend in perfectly with the environment. Spectra® defines property lines, and will add value to any residential or commercial property.



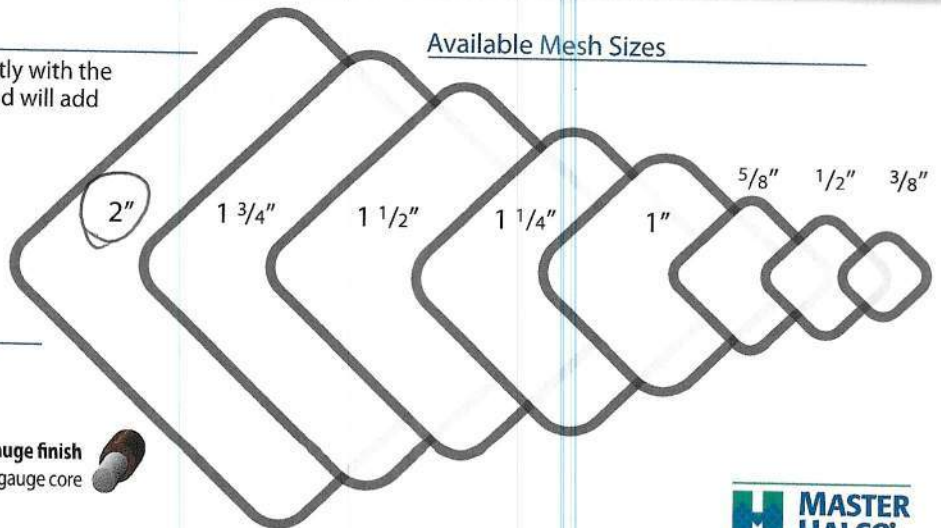
Midnight Black    Forest Green    Sierra Brown

**Available Wire Gauges (Finish and Core)**

Use the finish gauge number when ordering.



**Available Mesh Sizes**



# Spectra® Color Chain Link... made to perform

Spectra® is the latest generation of Master Halco's residential, commercial and industrial chain link fence systems. It provides the corrosion protection of zinc, with the durability and attractive appearance of a colored polyester framework and extruded PVC fabric, to ensure years of attractive and reliable performance that blends in beautifully with the environment.

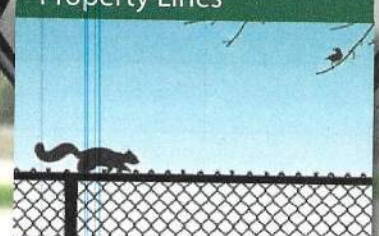
Pets



Parks



Property Lines



## Our Spectra® Fencing System

Premium quality frame and fabric is guaranteed for 15 years.



15 Year Warranty

## Features and Benefits:

- Zinc-coated steel framework is thoroughly cleaned during the pre-treatment process, then color coated with a 3 mil minimum polyester layer for protection from corrosion.
- All galvanized wire has a 15 mil minimum extruded polyvinyl chloride coating for dual protection from corrosion and the elements.
- Fittings are made of galvanized steel with a 3 mil minimum of polymer layer for protection from corrosion.

# Metal Siding Facade Percentages

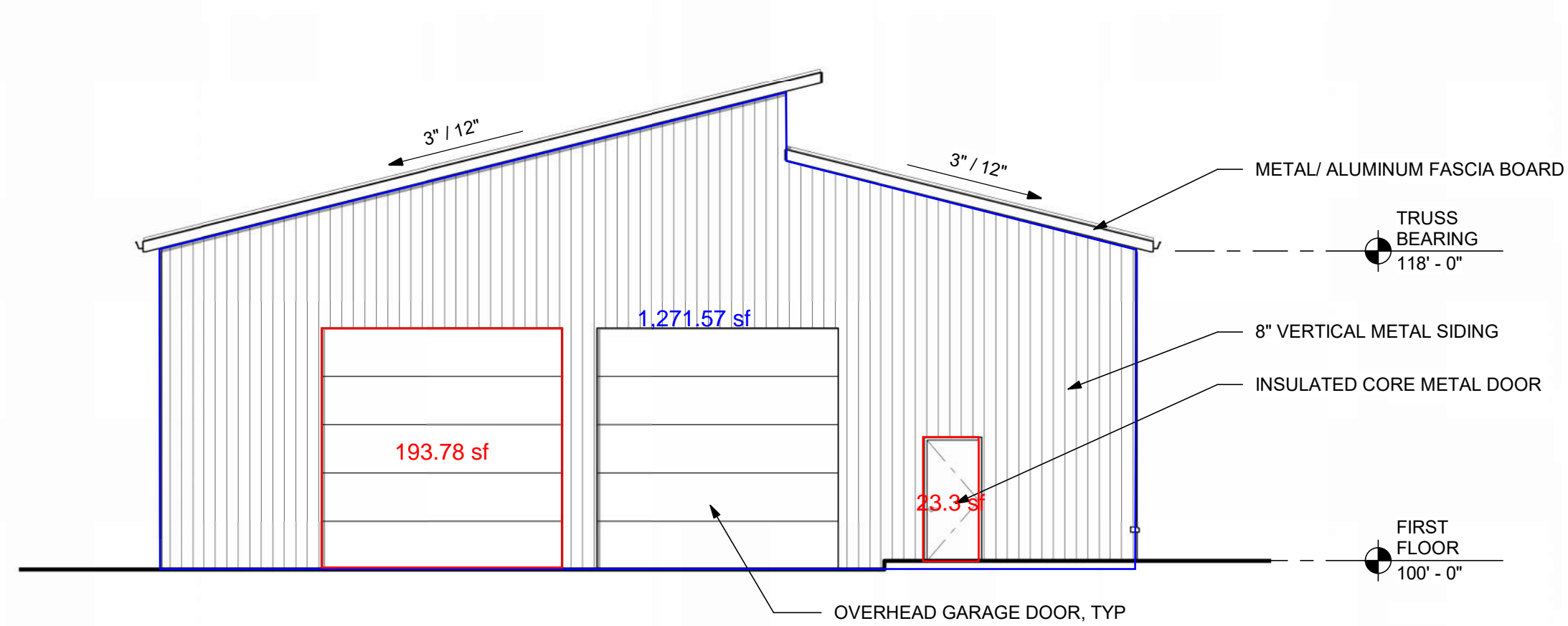
## Workshop/Office:

- North Elevation:
  - Metal Siding: 85.5%
  - Stone Veneer: 0%
- East Elevation
  - Metal Siding: 63%
  - Stone Veneer: 10%
- South Elevation
  - Metal Siding: 61%
  - Stone Veneer: 10%
- West Elevation
  - Metal Siding: 68%
  - Stone Veneer: 0%

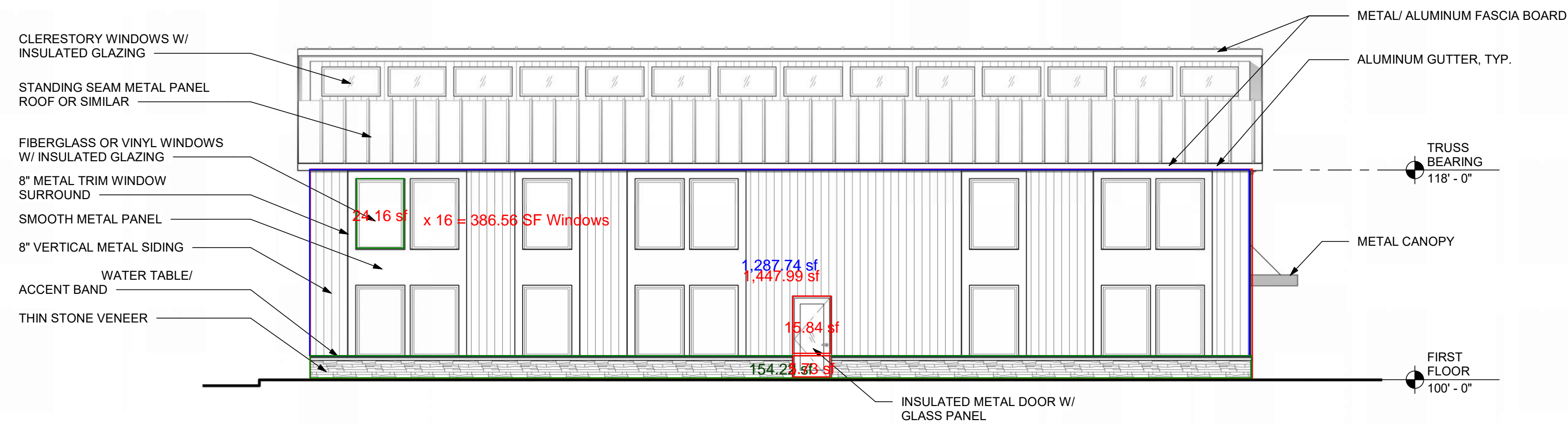
## Warehouse:

- North Elevation:
  - Metal Siding: 85%
  - Stone Veneer: 0%
- East Elevation
  - Metal Siding: 46%
  - Stone Veneer: 5%
- South Elevation
  - Metal Siding: 85%
  - Stone Veneer: 10%
- West Elevation
  - Metal Siding: 47%
  - Stone Veneer: 0%

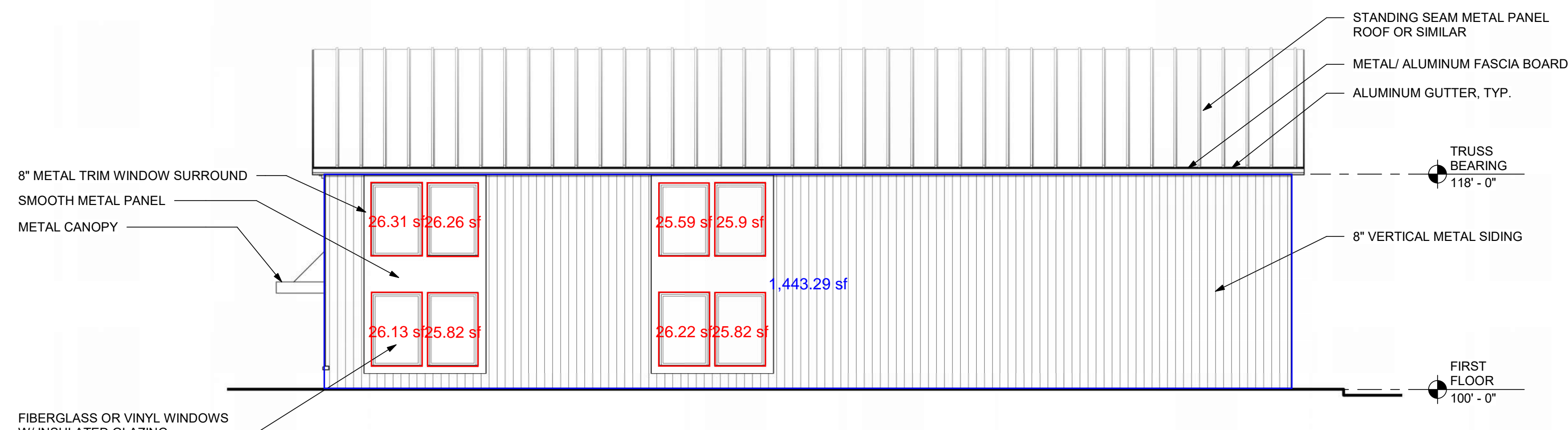
# METAL SIDING CALCULATION



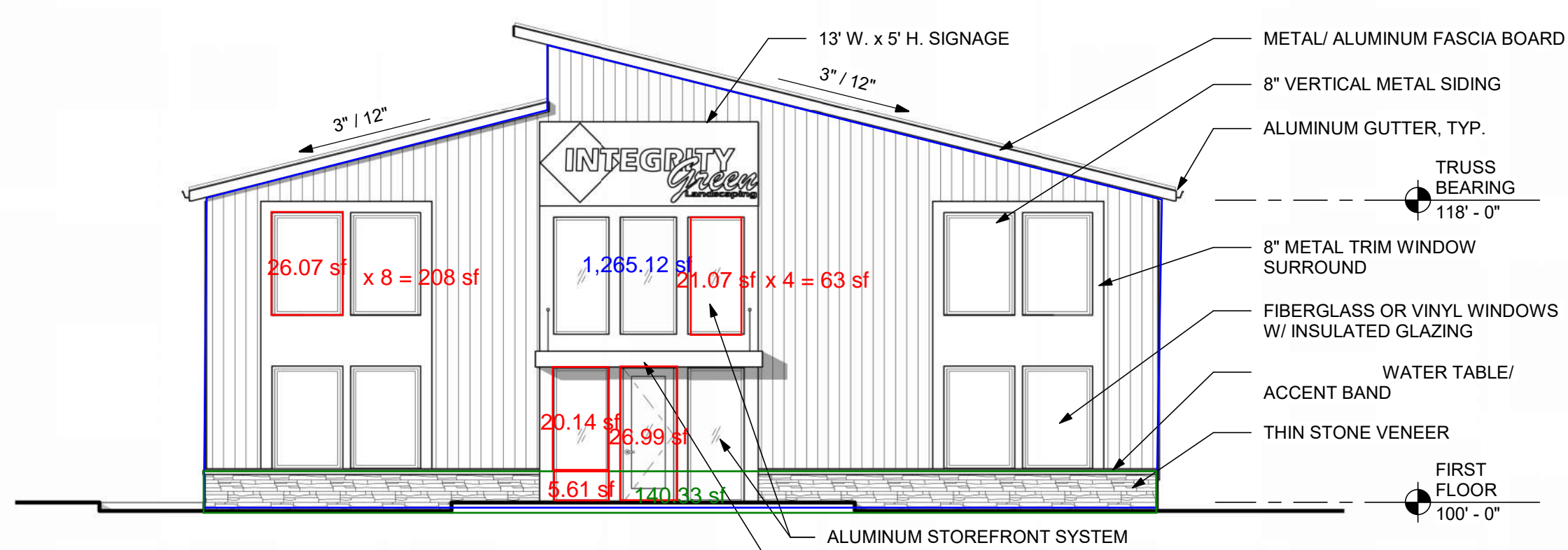
**4 WEST ELEVATION**  
 A3 1/8" = 1'-0"  
 Metal Siding: 860.57sf = 67.67%



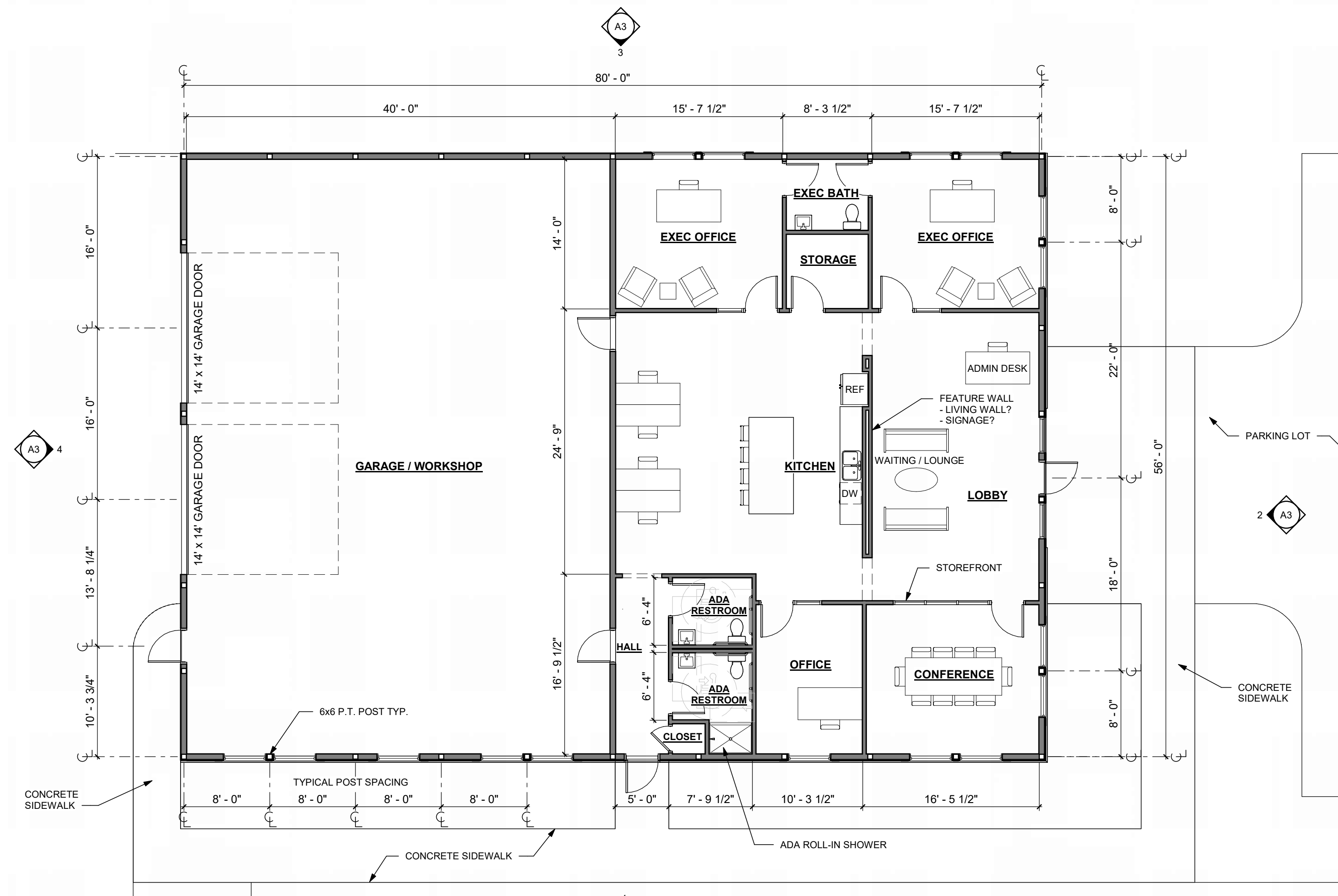
**1 SOUTH ELEVATION**  
 A3 1/8" = 1'-0"  
 Metal Siding = 885.34 sf = 61%  
 Veneer Stone = 148.49 sf = 10%



**3 NORTH ELEVATION**  
 A3 1/8" = 1'-0"  
 Metal Siding: 85.5%

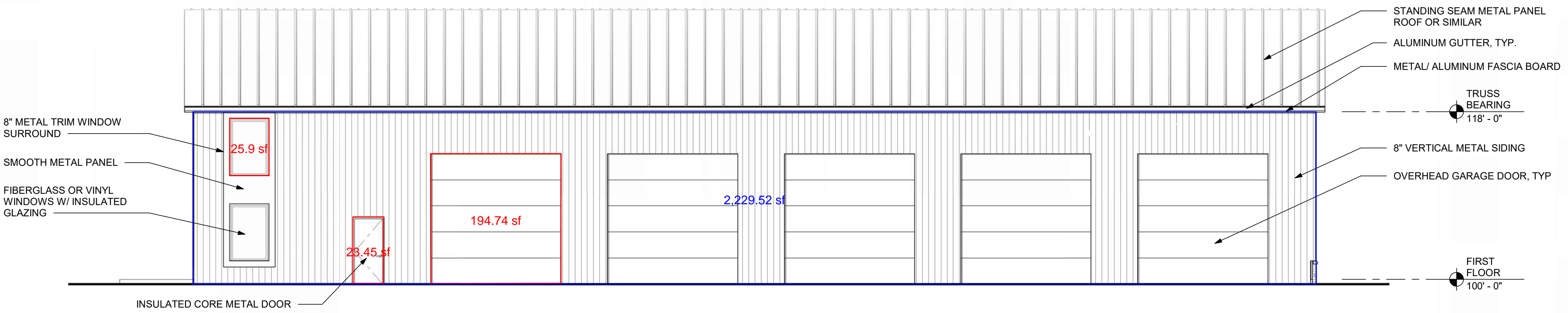


**2 EAST ELEVATION**  
 A3 1/8" = 1'-0"  
 Metal Siding: 794sf = 83%  
 Stone Veneer: 123.5sf = 10%

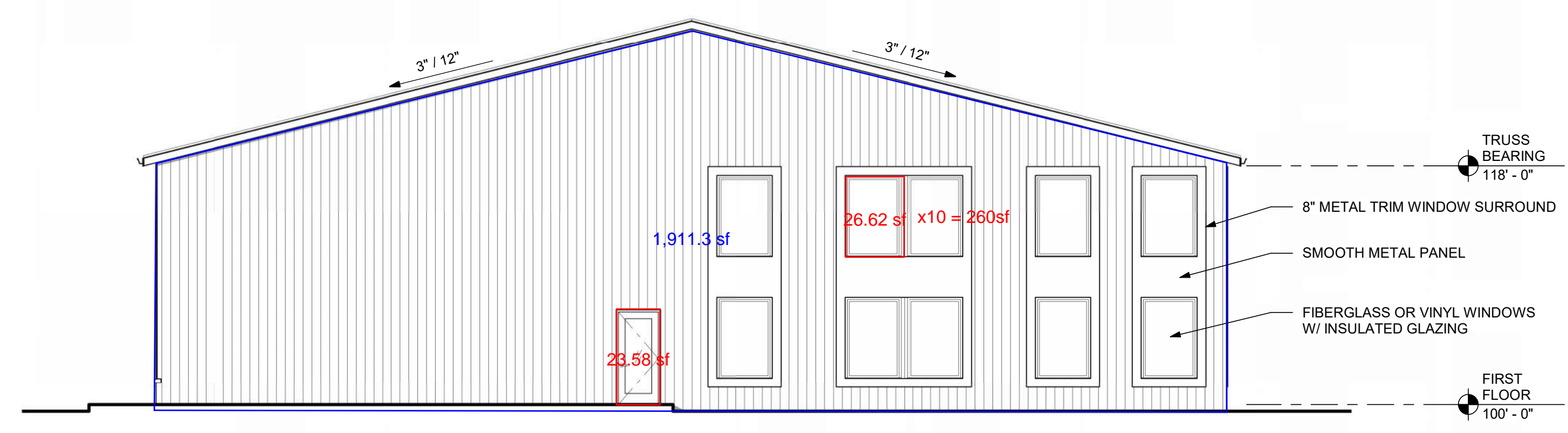


**FLOOR PLAN**  
 1/8" = 1'-0"

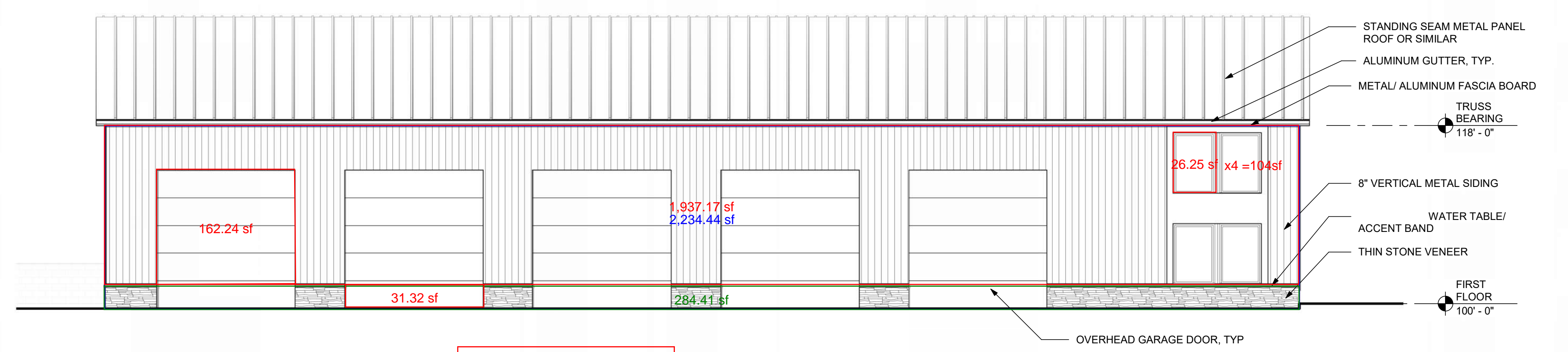
# METAL SIDING CALCULATION



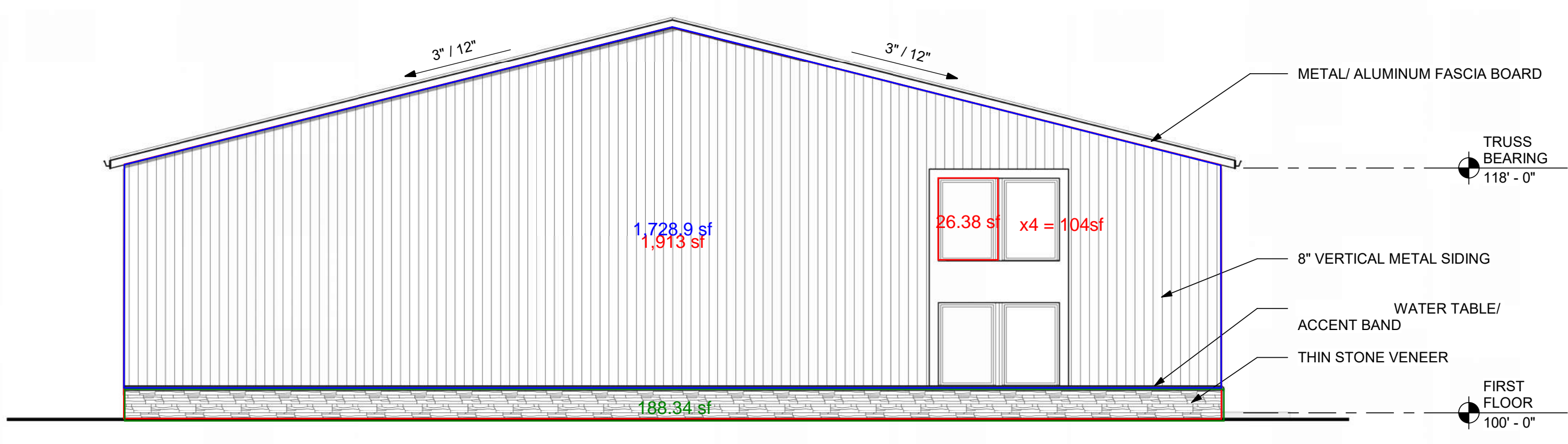
**5 WEST ELEVATION**  
 1/8" = 1'-0"  
 Metal Siding = 1049.2sf = 47%



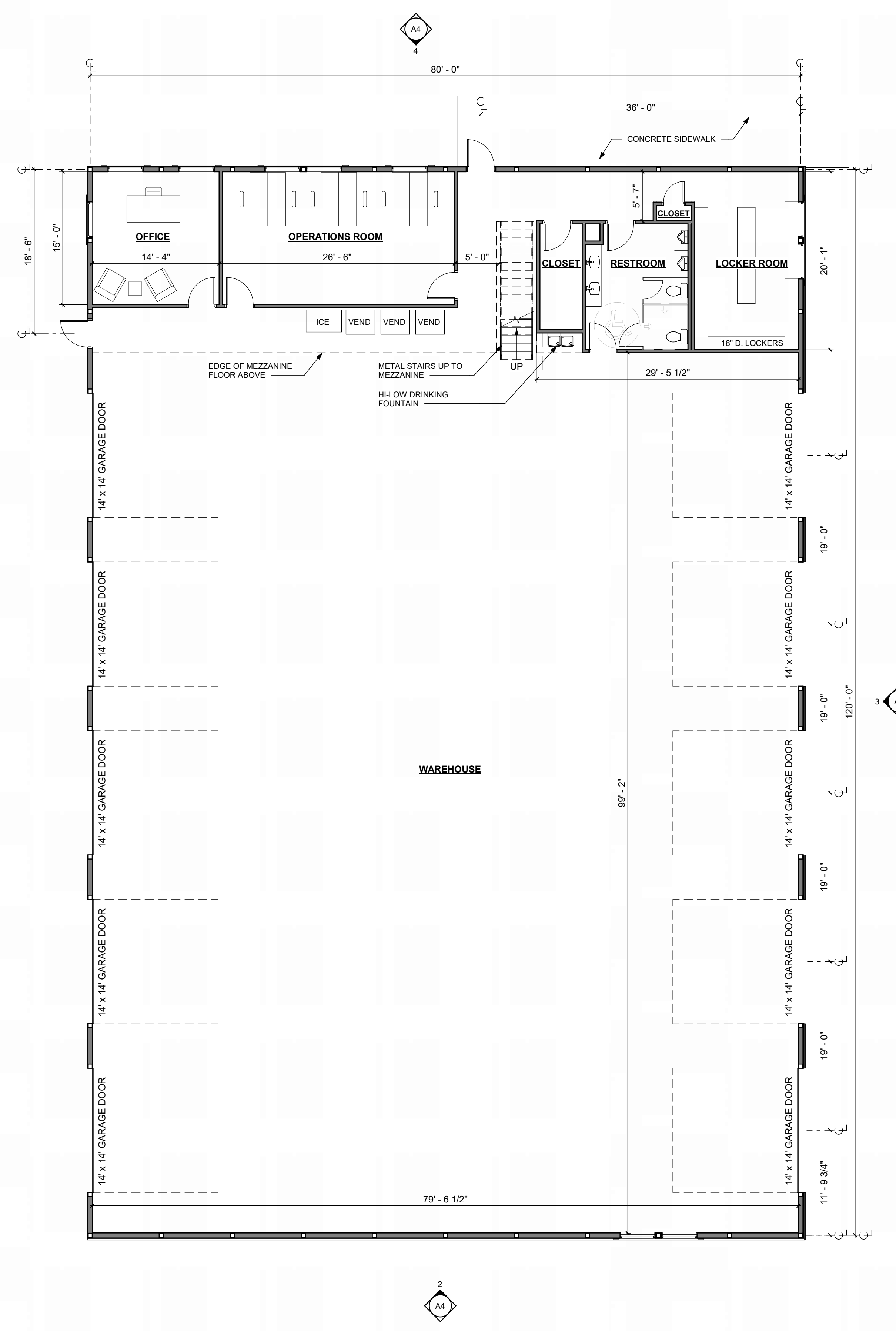
**4 NORTH ELEVATION**  
 1/8" = 1'-0"  
 Metal Siding = 1627sf = 85%



**3 EAST ELEVATION**  
 1/8" = 1'-0"  
 Metal Siding = 1022sf = 46%  
 Stone Veneer = 128sf = 5%



**2 SOUTH ELEVATION**  
 1/8" = 1'-0"  
 Metal Siding = 1625sf = 85%  
 Stone Veneer = 188sf = 10%



**FLOOR PLAN**  
 1/8" = 1'-0"

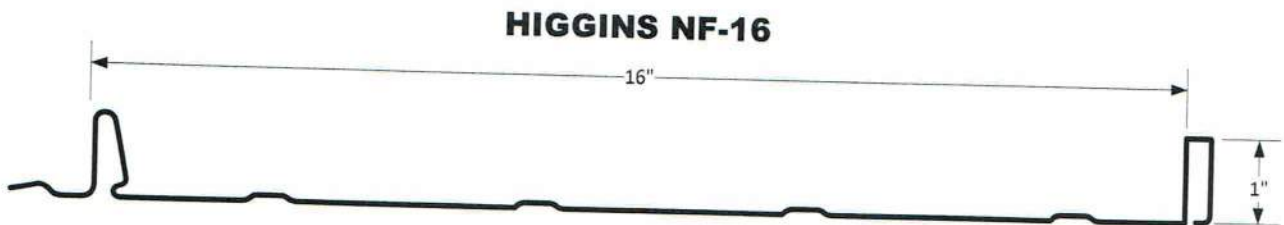


## STEEL ROOFING

HIGGINS CONSTRUCTION & SUPPLY CO.  
3801 U. S. 50 HILLSBORO, OHIO 45133  
1-800-782-4239 937-364-2331 FAX 937-364-2333  
www.higginsroofing.com

## STEEL SPECIFICATIONS FOR NF-16

AMERICAN MADE STEEL FROM STEEL DYNAMICS  
ASTM A 792 SS GRADE 50  
AZ-50 GALVALUME  
PAINT SYSTEM IS AKZO NOBEL  
CERAM-A-STAR 1050  
.019 26 GA



# CERAM-A-STAR® 1050



THE INDUSTRY'S BEST AND  
STRONGEST SILICONE-MODIFIED  
POLYESTER COIL COATING SYSTEM.

## THE CHALLENGE

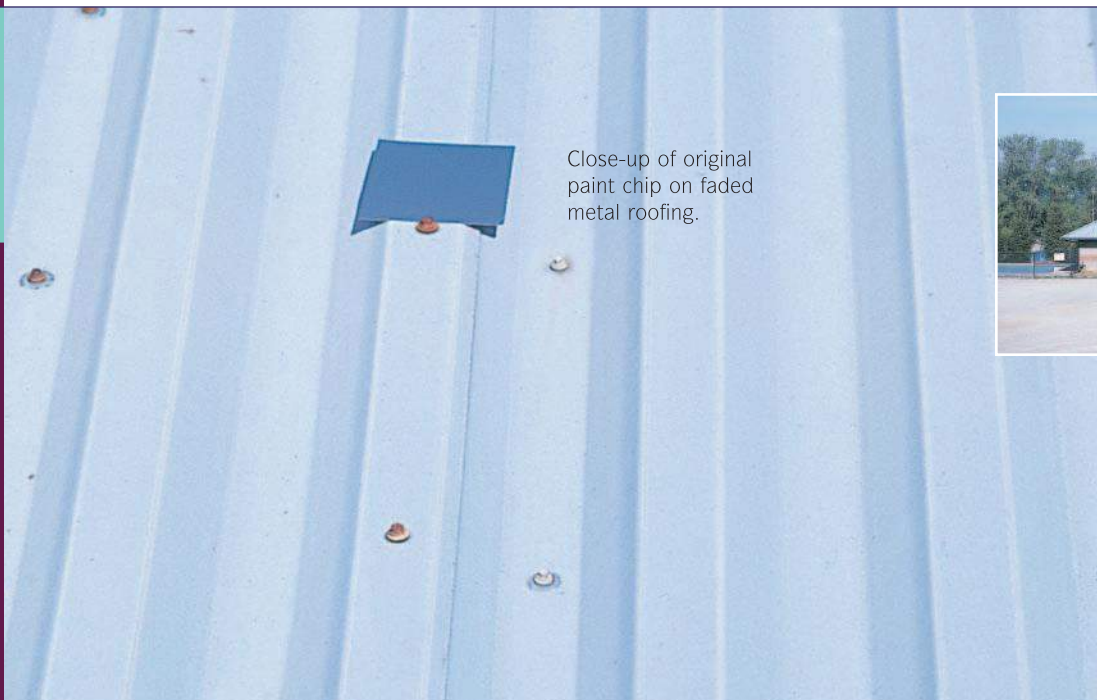
Achieving outstanding long-term performance in metal building components is a big challenge for coatings. Maintaining their color and integrity over decades of harsh weather conditions and natural degradation is a tough task.

While the industry was satisfied with the performance of silicone-modified polyesters, Akzo Nobel was not. So we went to work.

We spent more than 10 years in the laboratory and in the field researching, developing and testing the next generation of silicone-modified polyester (SMP). It didn't happen overnight, but it did happen.

And it was well worth the wait.

## FACING THE CHALLENGE



Close-up of original paint chip on faded metal roofing.



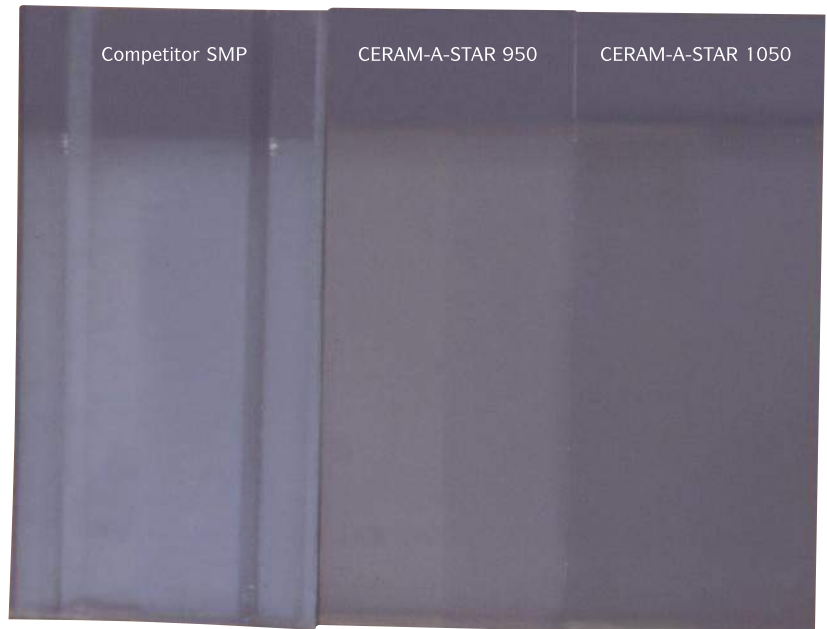
Competitive SMP coating on building after ten years in Ohio weather.

## THE NEW STANDARD

Akzo Nobel Coatings is pleased to introduce CERAM-A-STAR® 1050, the new standard in performance for SMP systems. CERAM-A-STAR 1050 is a silicone-protected polyester coil coating system designed exclusively for the metal construction industry.

Built on the proven strength of CERAM-A-STAR® 950, Akzo Nobel's CERAM-A-STAR 1050 is the industry's best and strongest SMP coil coating system, offering superior color stability, chalk resistance, fade resistance and gloss retention.

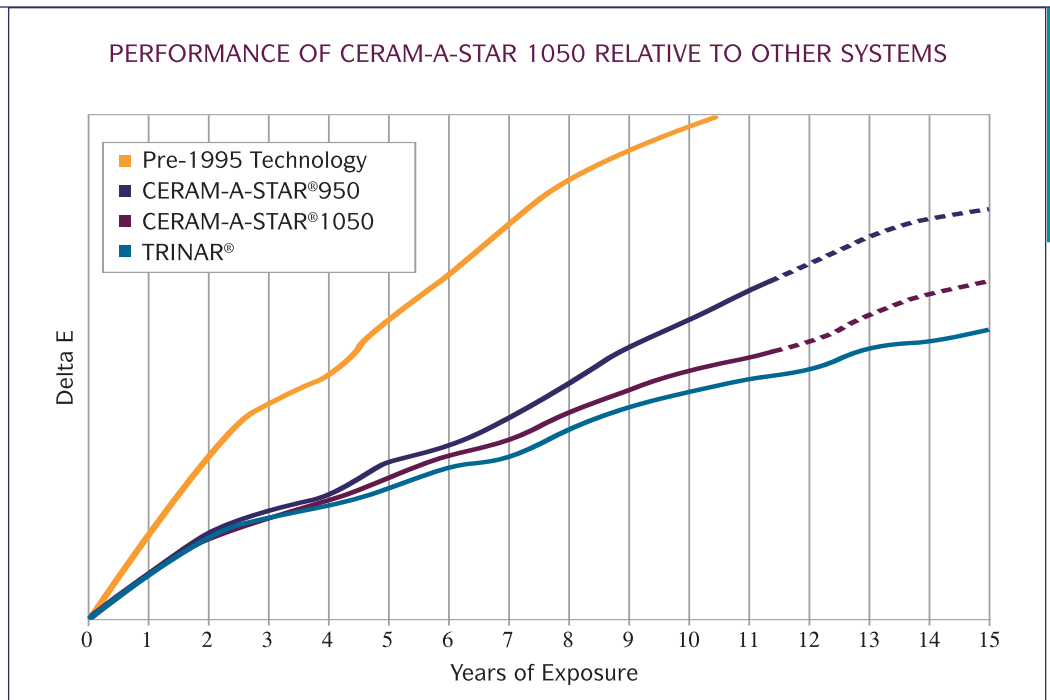
How did we do it? Two words: unique chemistry.



Coatings tested in real-life conditions in a comprehensive weathering program in South Florida.

## SETTING A NEW STANDARD IN PERFORMANCE

Proven in 45° South Florida exposure, CERAM-A-STAR 1050 delivers a much-improved level of color retention.





## UNIQUE CHEMISTRY

CERAM-A-STAR 1050's proprietary new resin formulation provides the backbone for this revolutionary SMP system. It's combined with ceramic and inorganic pigments and other enhancements to our award-winning CERAM-A-STAR 950 system to create the most resistant SMP finish available.

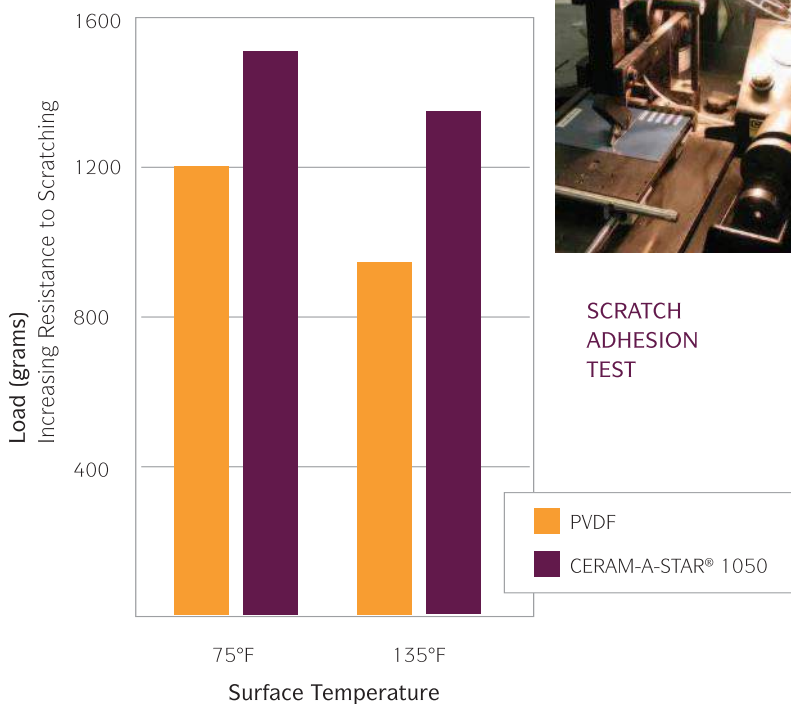
The two-coat system, using our OPTIMA high-performance primer, provides exceptional durability and offers superior resistance to moisture and UV, as well as excellent flexibility and abrasion resistance. And, the unique and highly-durable topcoat provides the best color stability and gloss retention of any SMP product.

In fact, the color stability of CERAM-A-STAR 1050 rivals that of Kynar® 500 and Hylar® 5000 coatings, while offering excellent resistance to dirt pickup and atmospheric stain. Its scratch-and abrasion-resistance are big bonuses during transit, handling and installation as well – particularly in hot weather. These qualities in particular make CERAM-A-STAR 1050 an excellent alternative to PVDF coatings in certain applications where hot hardness and handling issues are a concern.

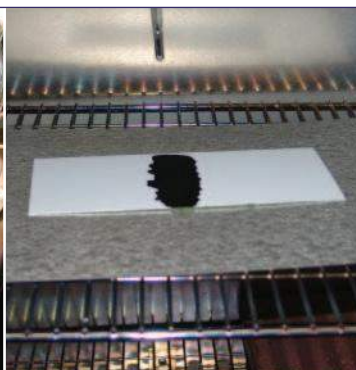
CERAM-A-STAR 1050 comes in a wide range of colors, including our solar-reflective COOL CHEMISTRY® SERIES. All remain stable and true well beyond what you've come to expect from an SMP.

## 10 YEARS IN THE MAKING

### SCRATCH ADHESION TEST RESULTS



SCRATCH ADHESION TEST



RESISTANCE TO DIRT AND STAIN TESTING

A 10% carbon black pigment dispersion is applied to CERAM-A-STAR 1050 panel and polyester coating. Panel is then placed in oven at 150° for 60 minutes.



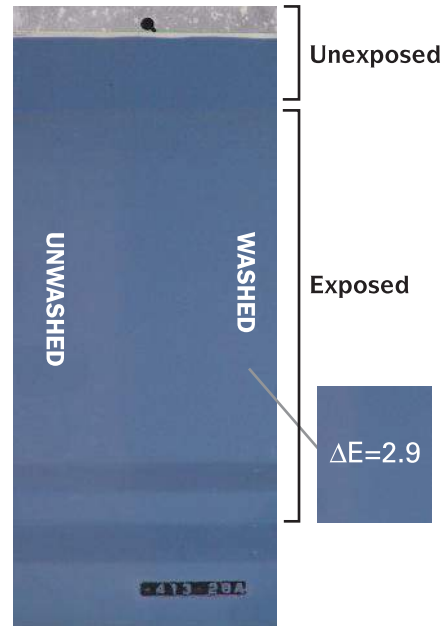
After cooling, panel is rubbed and rinsed under cool water. CERAM-A-STAR 1050 shows better resistance to atmosphere stain.

## TESTED TOUGH

We don't believe in shortcuts. That's why we spent 10 years testing CERAM-A-STAR 1050 in the laboratory and on the outdoor test fence to ensure its quality and durability before bringing it to the market. You just can't get real-world results without real-world testing.

In a decade of outdoor tests at our South Florida weathering farm, CERAM-A-STAR 1050 showed its mettle. Our proprietary new silicone polyester resin formulation withstood the harsh conditions and sweltering sun.

That's why we know it will stand the test of time in the buildings you build.



CERAM-A-STAR 1050 panel exposed for 11 years in South Florida shows color fade less than 3 Hunter units

## STANDING THE TEST OF TIME



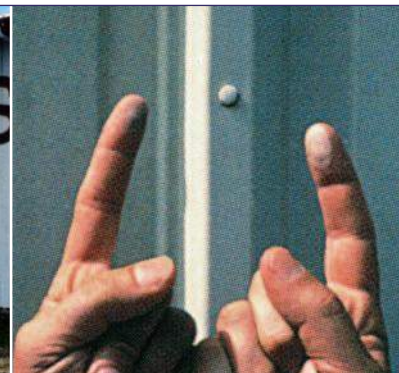
### REAL-WORLD TESTING

Real-world testing in South Florida at 45°. One year of testing is equivalent to two years on a roof and three years on a wall north of Jacksonville, Florida.



### REAL-WORLD STAIN TESTING

Both parts of this building started out the same white color. Akzo Nobel's original white is on the left; stained competitor's white is on the right.



### CHALK RESISTANCE

CERAM-A-STAR 1050 is proven to be the best chalk resistant technology.

## THE PRODUCT OF CHOICE

CERAM-A-STAR 1050 performs better. Period. That's why it's the product of choice for many commercial, residential and pre-engineered metal building components. If you're looking for durability, color stability, chalk resistance, gloss retention and scratch resistance in your metal building materials, it should be your choice, too.

We're so sure CERAM-A-STAR 1050 is the best coil coating system in the business that we've given it the best SMP warranty in the business as well.

That means you'll have plenty of time to see what we mean when we say CERAM-A-STAR 1050 is the brightest star in the SMP galaxy.

*CERAM-A-STAR® 1050 PERFORMS BETTER, PERIOD.*



## ABOUT AKZO NOBEL

Akzo Nobel Coatings Inc. is part of the Coatings Division of Akzo Nobel NV, a Global Fortune 500 company and one of the world's leading diversified chemical companies. Based in the Netherlands, the Company employs more than 60,000 people worldwide, has operating subsidiaries in more than 80 countries and offers a wide and diverse product portfolio in the fields of chemicals and coatings.

Akzo Nobel's Coatings Division is the largest coatings manufacturer in the world and one of North America's leading manufacturers of industrial finishes. Headquartered in Columbus, Ohio, the division manufactures and markets coil and extrusion coatings in North and South America and Asia.

Akzo Nobel Coatings is the market leader in the development and supply of coil coating, the most effective method in use to ensure the consistent, high-quality protection and decoration of metal substrates.



## COOL CHEMISTRY® Series

Improvements in Total Solar Reflectance may be realized by using Akzo Nobel's COOL CHEMISTRY® Series ceramic infrared reflective pigments. These special pigments are designed to reflect infrared energy while still absorbing visible light energy, thus appearing as the same color yet staying much cooler. When COOL CHEMISTRY® Series paints are used on metal roofing, the result is a sustainable building material that can lower air conditioning costs, reduce peak energy demand, and help to mitigate urban heat island effects.

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Akzo Nobel's TRINAR® finishes are made with unique polyvinylidene fluoride resin, where a minimum of 70% of the resin is Kynar® 500 or Hylar 5000® PVDF. This unique chemistry is combined with our own proprietary acrylic resin, as well as ceramic and select inorganic pigmentation. The result is TRINAR's proven ability to resist ultraviolet radiation in sunlight for maximum protection against general weathering effects, chalking and fading.

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Akzo Nobel's REL-SHIELD® IV PVC (Plastisol) coating system provides thick film protection (4-10 mils) on metal building components and siding. It is extremely flexible and offers excellent resistance to most chemicals. Choices of surface appearance include smooth, ripple, and striated.

Marketing Manager  
Akzo Nobel Coatings Inc.  
1313 Windsor Avenue  
P.O. Box 489  
Columbus, Ohio 43216-0489



For more information about CERAM-A-STAR® 1050 coil applications call  
**614 294 3361** or visit [www.akzonobel-ccna.com](http://www.akzonobel-ccna.com)

Member of: Cool Roof Rating Council (Charter Member) • Energy Star Partners  
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Metal Building Manufacturers Association (Associate) • Metal Construction  
Association • DASMA • American Architectural Manufacturers Association •  
Society for Testing and Materials • ASTM International • Aluminum Extruders  
Council • National Paint and Coatings Association • Steel Deck Institute •  
National Glass Association • American Chemical Society • Federation of  
Societies for Coatings Technology • Metal Roofing Alliance



CERAM-A-STAR® 1050 is a registered trademark of an Akzo Nobel Company  
CERAM-A-STAR® 950 is a registered trademark of an Akzo Nobel Company  
TRINAR® is a registered trademark of an Akzo Nobel Company  
POLYDURE® 1000 is a registered trademark of an Akzo Nobel Company  
REL-SHIELD® IV is a registered trademark of an Akzo Nobel Company  
COOL CHEMISTRY® SERIES is a registered trademark of an Akzo Nobel Company  
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Steel Roofing  
Vinyl Siding

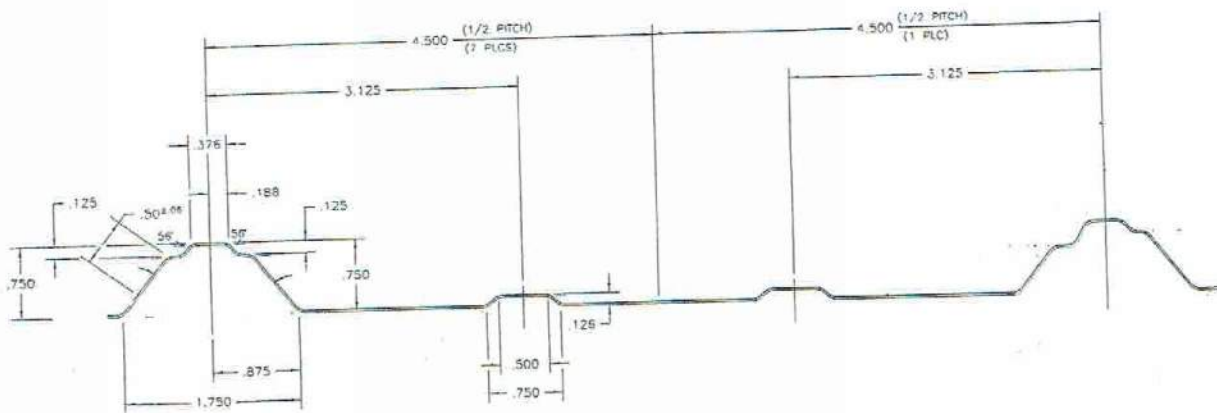


INTEGRITY - EXHIBIT B-5

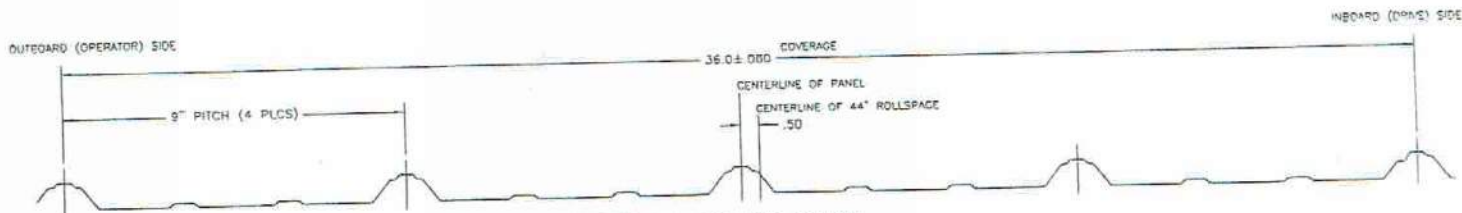
3801 U.S. ROUTE 50 HILLSBORO, OHIO 45133

Steel Panel Specifications for Performance Panel:

United States Steel  
ASTM - A792-03  
Grade 80  
Galvalume  
Paint System is Akzo Nobel  
Ceram-a-Star 1050  
28 gauge



PITCH & END DETAILS



PERFORMANCE RIB PANEL

Issue Date: 11-17-2016  
Revision Date: 11-28-2023  
Renewal Date: 11-30-2024

**DIVISION: 07 00 00 – THERMAL AND MOISTURE PROTECTION**

**Section: 07 41 13 – Metal Roof Panels**

**REPORT HOLDER:**

**HIGGINS CONSTRUCTION & SUPPLY COMPANY**  
3801 US 50  
Hillsboro, Ohio 45133  
937-364-2331  
[www.Higginsroofing.com](http://www.Higginsroofing.com)

**REPORT SUBJECT:**

***Performance Panel Steel Roofing***

### 1.0 SCOPE OF EVALUATION

**1.1.** This research report addresses compliance with the following codes:

2021, 2018, 2015 *International Building Code*® (IBC)  
2021, 2018, 2015 *International Residential Code*® (IRC)  
2023 and 2020 Florida Building Code (FBC) excluding High-Velocity Hurricane Zone. See Section 9.0.  
2023 and 2020 Florida Building Code, Residential

NOTE: This report references 2021 Code sections with [2018, 2015 IBC and FBC] Code sections shown in brackets where they differ.

**1.2.** *Performance Panel* has been evaluated for the following properties:

- Fire Classification
- Weather Resistance
- Wind Resistance
- Impact Classification

**1.3.** *Performance Panel* has been evaluated for the following uses:

- A metal roof panel, complying with the requirements of Section 1507.4 of the IBC and FBC, and IRC Section R905.10. The *Performance Panel* shall be installed on roof slopes of 2:12 or greater and limited to the code occupancies as identified in Table 1.

### 2.0 STATEMENT OF COMPLIANCE *Performance Panel*

complies with the Codes listed in Section

1.1, for the properties stated in Section 1.2 and uses stated in Section 1.3, when installed as described in this report, including the Conditions of Use stated in Section 6.

### 3.0 DESCRIPTION

**3.1** The *Performance Panel* metal roof coverings and accessories (hip and ridge caps, and flashing) are fabricated from 28 ga. (0.0157-inch-minimum) steel conforming to ASTM A924. The steel has a minimum protective coating conforming to ASTM A792–AZ50 and painted with a silicone-modified polyester finish in various colors. Panels are provided in lengths up to 60 feet, with cross-sectional profile as shown in Figure 1.

### 4.0 PERFORMANCE CHARACTERISTICS

**4.1** Wind Uplift Resistance – Maximum allowable design pressures are shown in Table 2 for the *Performance Panels* when tested in accordance with UL 580 and UL 1897. Values are based on allowable stress design (ASD) and include safety factors as specified in ICC-ES AC166 and FBC Section 1504.9.

**4.2** *Performance Panels* described in this report have an allowable snow or positive wind pressure of 102 psf when installed on supports spaced 24 inches on center. When installed over solid sheathing, the sheathing must be designed to resist the required design loads in accordance with the applicable code.

**4.3** Fire Classification – See Table 1 for recognized fire classifications and code occupancies.

**4.4** In addition to the codes recognized in Section 1.1, *Performance Panels* have met the roof impact classification requirements for Class 4 when tested in accordance with FM 4473 and UL 2218.



## 5.0 INSTALLATION

**5.1 General:** *Performance Panel* must be installed in accordance with this report, Section 1507.4 of the IBC and FBC or Section R905.10 of the IRC and the FBC-R (as applicable), and the manufacturer's published installation instructions, the applicable Code, and this Research Report. The manufacturer's published installation instruction and this Research Report must be strictly adhered to. A copy of the manufacturer's instructions must be available on the jobsite during installation.

**5.2 Application:** **5.2.1** The *Performance Panel* utilizes galvanized *Wood Binder* screws for attachment of the metal panels to solid decking or spaced supports. See Table 2 for fastening schedule.

**5.2.1.1** Wood solid decking must be a minimum 15/32 inches plywood, 32/16 rated sheathing complying with Section 2304.8(2) of the IBC and FBC or Section R803 of the IRC and FBC-R, as applicable.

**5.2.1.2** Wood spaced supports must be a minimum 2x4, spaced a maximum of 24 inches on center. Spaced supports shall be positively fastened to the framing of the roof structure at no greater than 24 inches on center.

**5.2.2** Underlayment shall comply with Section 1507.4.5 of the IBC and FBC, or Section R905.10.5 of the IRC and FBC-R, as applicable.

**5.2.3** Flashing shall be in accordance with Section 1503.2 of the IBC and FBC or Section R903.2 of the IRC and FBC-R, as applicable.

**5.2.4** The *Performance Panels* shall be installed on roof of slopes of 2:12 or greater. Lap sealants shall be applied to seams for roof slopes less than 3:12.

## 6.0 CONDITIONS OF USE

**6.1** Installation must comply with this Research Report, the manufacturer's published installation instructions, and the applicable Code. In the event of a conflict, this report governs.

**6.2** The allowable wind uplift resistance listed in Table 2 is for the metal panels only. The roof deck and framing to which the metal panels are attached must be designed for components and cladding in accordance with Section 1609 of the IBC and FBC, and Section R301.2.1 of the IRC and FBC-R.

**6.3** *Performance Panels* is manufactured under a quality control program with inspections by Intertek Testing Services NA, Inc.

## 7.0 SUPPORTING EVIDENCE

**7.1** Manufacturer's drawings and installation instructions

**7.2** Reports of wind uplift resistance in accordance with UL 580-2006, Test for Uplift Resistance of Roof Assemblies.

**7.3** Reports of wind uplift resistance in accordance with UL 1897-15 [-12], Uplift Tests for Roof Covering Systems.

**7.4** Reports of testing in accordance with ICC-ES AC166, Acceptance Criteria for Metal Roof Coverings, approved February 2021.

**7.5** Reports of impact resistance testing in accordance with FM 4473 (2011), Specification Test Standard for Impact Resistance Testing of Rigid Roofing Materials by Impacting with Freezer Ice Balls, and UL 2218 (1996), Standard for Safety for Impact Resistance of Prepared Roof Covering Materials.

**7.6** Documentation of an Intertek approved quality control system for the manufacturing of products recognized in this report.





8.0 IDENTIFICATION The Performance Panel is identified with the manufacturer’s name (Higgins Roofing), address and telephone number, the product name (Performance Panel), the Intertek Mark as shown below, and the Code Compliance Research Report number (CCRR-0253).



9.0 FLORIDA BUILDING CODE

9.1 Scope of Evaluation:

The Performance Panel were evaluated for compliance with the Florida Building Code – Building and Florida Building Code – Residential.

9.2 Conclusion:

The Performance Panel, described in Sections 2.0 through 7.0 of this Research Report, comply with the

Florida Building Code – Building and Florida Building Code –, subject to the following conditions:

- Use of the Performance Panel for compliance with the High-Velocity Hurricane Zone provisions of the Florida Building Code – Building and the Florida Building Code – Residential has not been evaluated and is outside the scope of this Research Report.
• Intertek is an approved evaluation entity and quality assurance entity pursuant to Florida Statute 553.842 – Product Evaluation and Approval.

10.0 CODE COMPLIANCE RESEARCH REPORT USE

10.1 Approval of building products and/or materials can only be granted by a building official having legal authority in the specific jurisdiction where approval is sought.

10.2 Code Compliance Research Reports shall not be used in any manner that implies an endorsement of the product by Intertek.

10.3 Reference to the https://bpdirectory.intertek.com is recommended to ascertain the current version and status of this report.

This Code Compliance Research Report (“Report”) is for the exclusive use of Intertek's Client and is provided pursuant to the agreement between Intertek and its Client. Intertek's responsibility and liability are limited to the terms and conditions of the agreement. Intertek assumes no liability to any party, other than to the Client in accordance with the agreement, for any loss, expense or damage occasioned by the use of this Report. Only the Client is authorized to permit copying or distribution of this Report and then only in its entirety, and the Client shall not use the Report in a misleading manner. Client further agrees and understands that reliance upon the Report is limited to the representations made therein. The Report is not an endorsement or recommendation for use of the subject and/or product described herein. This Report is not the Intertek Listing Report covering the subject product and utilized for Intertek Certification and this Report does not represent authorization for the use of any Intertek certification marks. Any use of the Intertek name or one of its marks for the sale or advertisement of the tested material, product or service must first be approved in writing by Intertek.





Table 1 – Fire Classifications

Roof Construction	Code Occupancy	Fire Classification
Combustible and noncombustible roof decks or framing.	IBC / FBC Groups R-3 and U, where there is a minimum fire-separation distance of 6 feet, measured from the leading edge of the roof	Non-classified
Noncombustible decks or noncombustible framing without a roof deck	IBC /FBC all use groups and dwellings constructed in accordance with the IRC / FBC-R	Class A

Table 2 – Uplift Resistance and Construction Details

Deck (1)	Fastener Attachment	Allowable Design Loads(2)
SPF (specific gravity, G=0.42) wood purlins spaced 24 in. on center. Purlins must be of minimum thickness to allow full penetration of the screws.	Installed on the flat with 1 in. long, galvanized ZXL <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-75.0 psf
SPF (specific gravity, G=0.42) wood purlins spaced 24 in. on center. Purlins must be of minimum thickness to allow full penetration of the screws.	Installed on the high corrugation with 2 in. long, galvanized <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-67.5 psf
15/32 in. plywood sheathing (32/16 rated sheathing) secured supported by SYP (specific gravity, G=0.55) wood framing spaced 24 in. on center.	Installed on the flat with 1 in. long, galvanized ZXL <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-90.0 psf
15/32 in. plywood sheathing (32/16 rated sheathing) secured supported by SYP (specific gravity, G=0.55) wood framing spaced 24 in. on center.	Installed on the high corrugation with 2 in. long, galvanized <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-82.5 psf

(1) Wood supports (sheathing and framing) must be equivalent or greater in specific gravity. Installation on wood substrates with a lesser specific gravity may result in lower allowable design loads.

(2) Allowable uplift resistance values are based on allowable stress design (ASD) and include safety factors as specified in ICC-ES AC166 and FBC Section 1504.9.



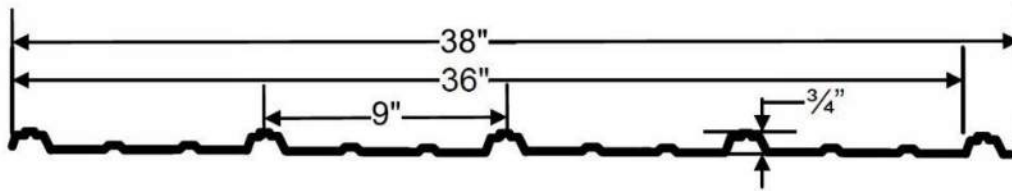


Figure 1 – Performance Panel Profile



Figure 2 – ZXL Wood Binder



Figure 3 – Wood Binder



Installation on the flat



Installation on the high corrugation

Figure 4 – Fastener Application Details

# CERAM-A-STAR® 1050



THE INDUSTRY'S BEST AND  
STRONGEST SILICONE-MODIFIED  
POLYESTER COIL COATING SYSTEM.

## THE CHALLENGE

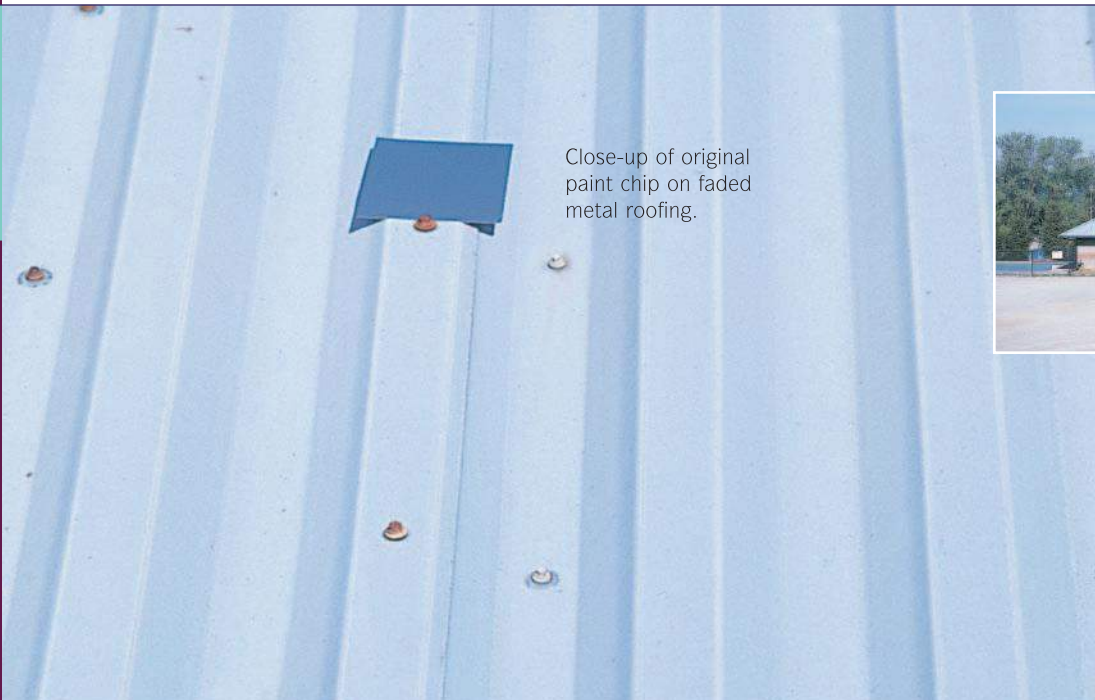
Achieving outstanding long-term performance in metal building components is a big challenge for coatings. Maintaining their color and integrity over decades of harsh weather conditions and natural degradation is a tough task.

While the industry was satisfied with the performance of silicone-modified polyesters, Akzo Nobel was not. So we went to work.

We spent more than 10 years in the laboratory and in the field researching, developing and testing the next generation of silicone-modified polyester (SMP). It didn't happen overnight, but it did happen.

And it was well worth the wait.

## FACING THE CHALLENGE



Close-up of original paint chip on faded metal roofing.



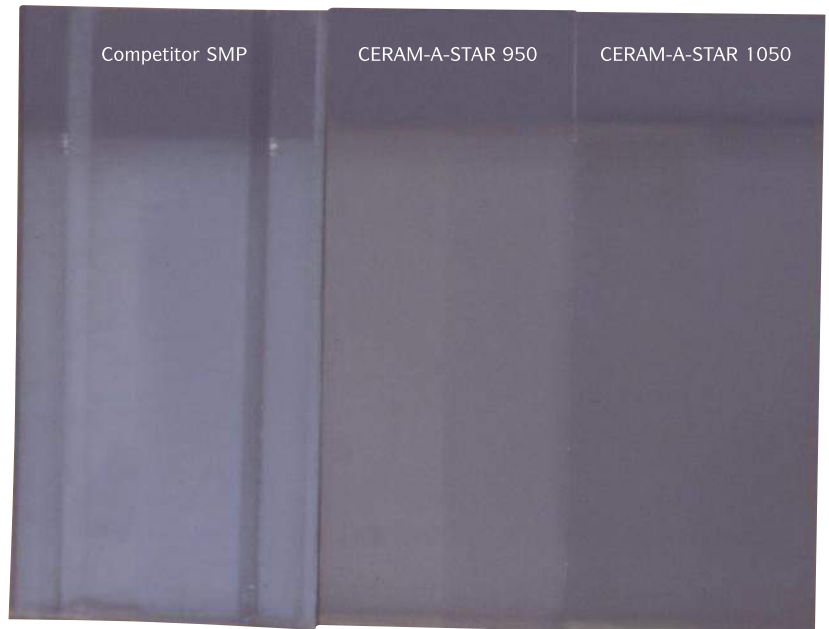
Competitive SMP coating on building after ten years in Ohio weather.

## THE NEW STANDARD

Akzo Nobel Coatings is pleased to introduce CERAM-A-STAR® 1050, the new standard in performance for SMP systems. CERAM-A-STAR 1050 is a silicone-protected polyester coil coating system designed exclusively for the metal construction industry.

Built on the proven strength of CERAM-A-STAR® 950, Akzo Nobel's CERAM-A-STAR 1050 is the industry's best and strongest SMP coil coating system, offering superior color stability, chalk resistance, fade resistance and gloss retention.

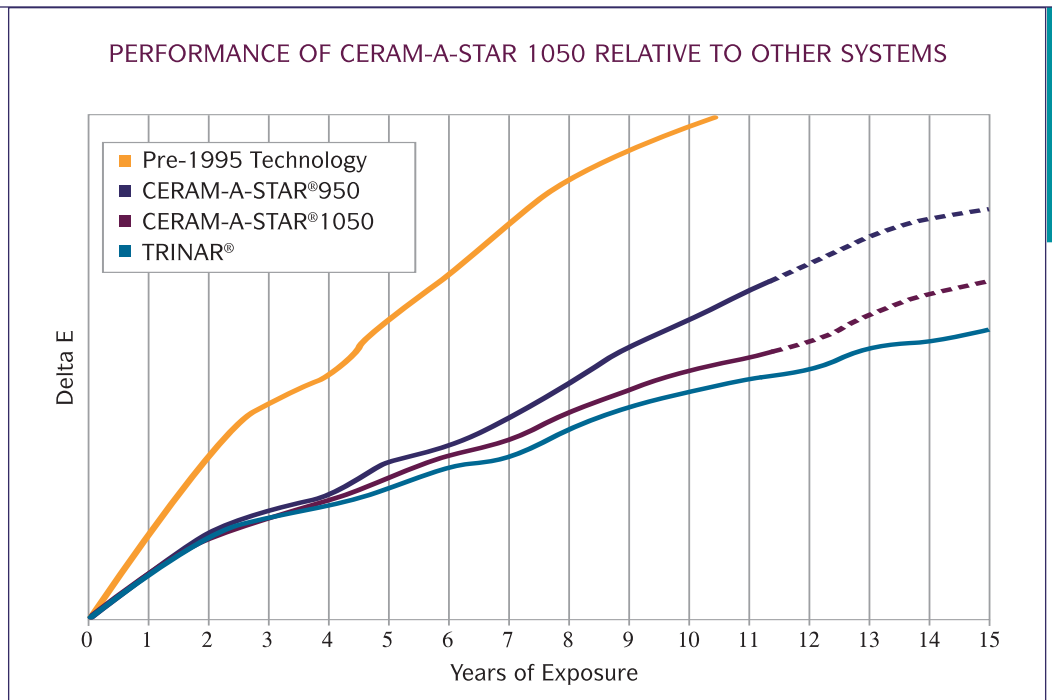
How did we do it? Two words: unique chemistry.



Coatings tested in real-life conditions in a comprehensive weathering program in South Florida.

## SETTING A NEW STANDARD IN PERFORMANCE

Proven in 45° South Florida exposure, CERAM-A-STAR 1050 delivers a much-improved level of color retention.





## UNIQUE CHEMISTRY

CERAM-A-STAR 1050's proprietary new resin formulation provides the backbone for this revolutionary SMP system. It's combined with ceramic and inorganic pigments and other enhancements to our award-winning CERAM-A-STAR 950 system to create the most resistant SMP finish available.

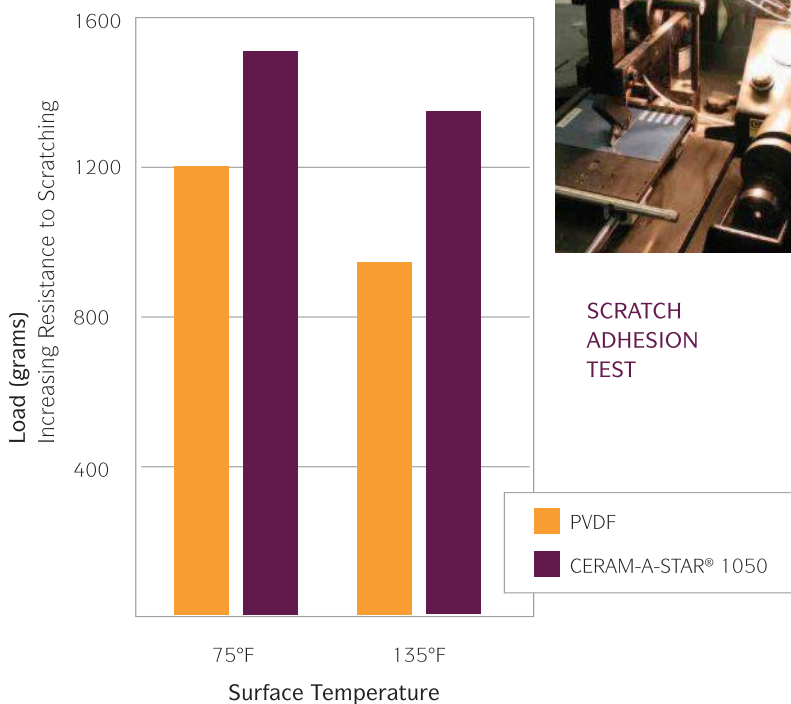
The two-coat system, using our OPTIMA high-performance primer, provides exceptional durability and offers superior resistance to moisture and UV, as well as excellent flexibility and abrasion resistance. And, the unique and highly-durable topcoat provides the best color stability and gloss retention of any SMP product.

In fact, the color stability of CERAM-A-STAR 1050 rivals that of Kynar® 500 and Hylar® 5000 coatings, while offering excellent resistance to dirt pickup and atmospheric stain. Its scratch-and abrasion-resistance are big bonuses during transit, handling and installation as well – particularly in hot weather. These qualities in particular make CERAM-A-STAR 1050 an excellent alternative to PVDF coatings in certain applications where hot hardness and handling issues are a concern.

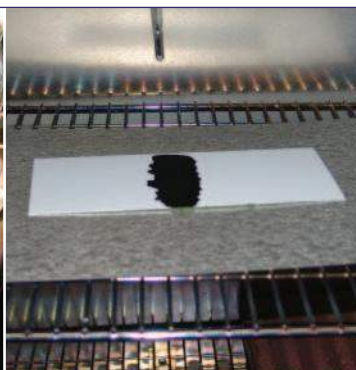
CERAM-A-STAR 1050 comes in a wide range of colors, including our solar-reflective COOL CHEMISTRY® SERIES. All remain stable and true well beyond what you've come to expect from an SMP.

## 10 YEARS IN THE MAKING

### SCRATCH ADHESION TEST RESULTS



SCRATCH ADHESION TEST



RESISTANCE TO DIRT AND STAIN TESTING

A 10% carbon black pigment dispersion is applied to CERAM-A-STAR 1050 panel and polyester coating. Panel is then placed in oven at 150° for 60 minutes.



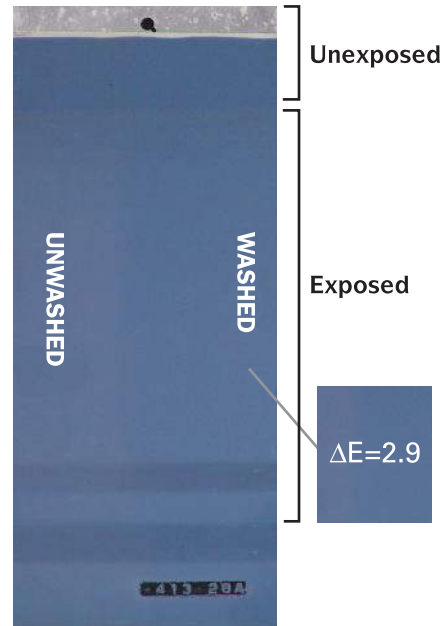
After cooling, panel is rubbed and rinsed under cool water. CERAM-A-STAR 1050 shows better resistance to atmosphere stain.

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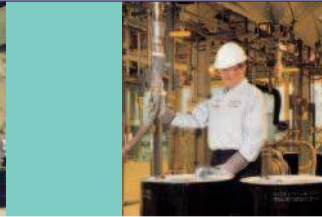


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Metal Building Manufacturers Association (Associate) • Metal Construction  
Association • DASMA • American Architectural Manufacturers Association •  
Society for Testing and Materials • ASTM International • Aluminum Extruders  
Council • National Paint and Coatings Association • Steel Deck Institute •  
National Glass Association • American Chemical Society • Federation of  
Societies for Coatings Technology • Metal Roofing Alliance



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Energy Star® is a registered trademark of the EPA

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Hoop Barn on Concrete Blocks



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PRODUCT DATA



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# FarmTek

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[Freestanding Buildings /](#)

[ClearSpan HD Buildings /](#)

[ClearSpan Round Extra-Tall HD Buildings](#)



## ClearSpan™ Round Extra-Tall HD Buildings

### Select configuration

Width \*

Length \*

Height \*

Cover Color \*

### ClearSpan Round Extra-Tall HD Building - 45'W x 60'L White

Quantity\*

[Add to Cart](#)

Item Number: TT4506020FW

Availability: **Usually available in 10 days** (Manufactured Product)



ClearSpan™ HD Buildings are designed, manufactured and constructed with the highest structural integrity.

[Skip to main content](#)

- High clearance and wide-open space of these structures make them ideal for virtually any application.
- 12.5 oz., 24 mil rip-stop polyethylene covers are UV resistant and available in your choice of four colors.
- Durable frames are manufactured from our American-made, triple-galvanized structural steel, which is resistant to corrosive environments and long lasting.
- 45'W buildings are 21'8-3/16"H.
- Truss spacing is 20' on center.
- Available in freestanding round style.
- Industry-leading 20 year warranty on cover and 50 year warranty on frame.
- Custom covers, end panels and accessories are available, all sold separately.



Product Specifications ^


**Cover Color:** White

**Length:** 60'L

**Width:** 45'W

**Height:** 21'8"H

**Weight:** 6410

California Residents:  Warning: Cancer and Reproductive Toxicity - P65Warnings.ca.gov

## RECOMMENDED ACCESSORIES

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## ClearSpan meets the wide-ranging building needs of any government or municipality

ClearSpan understands the needs of building government facilities and has worked for decades to design custom and turnkey municipal solutions. Whether it's a storage facility, sand and salt structure, recreation building or any other type of structure, ClearSpan can meet even the most specific municipal needs.

### The ClearSpan Government and Municipality Advantage

**Fabric and metal cladding** - Choose the option that is right for your operation.

**Versatile foundation options** - Helical anchors, pony walls, wooden posts, concrete pads, shipping containers and more.

**Energy-efficient designs** - Utilizing natural lighting and ventilation, ClearSpan structures can provide monthly energy savings.

**Industry-leading warranties** - Up to 50-year frame warranties and various cladding warranties.

**Custom designs** - Customize your structure with all the necessary features and accessories, like HVAC equipment, windows, lighting and much more.

**In-house services** - Streamline your next building project with financing, engineering and installation.

# Bulk Material Storage Bin Exmmaples



# EXISTING PROPERTY LANDSCAPE BUFFER PHOTO POSITIONS

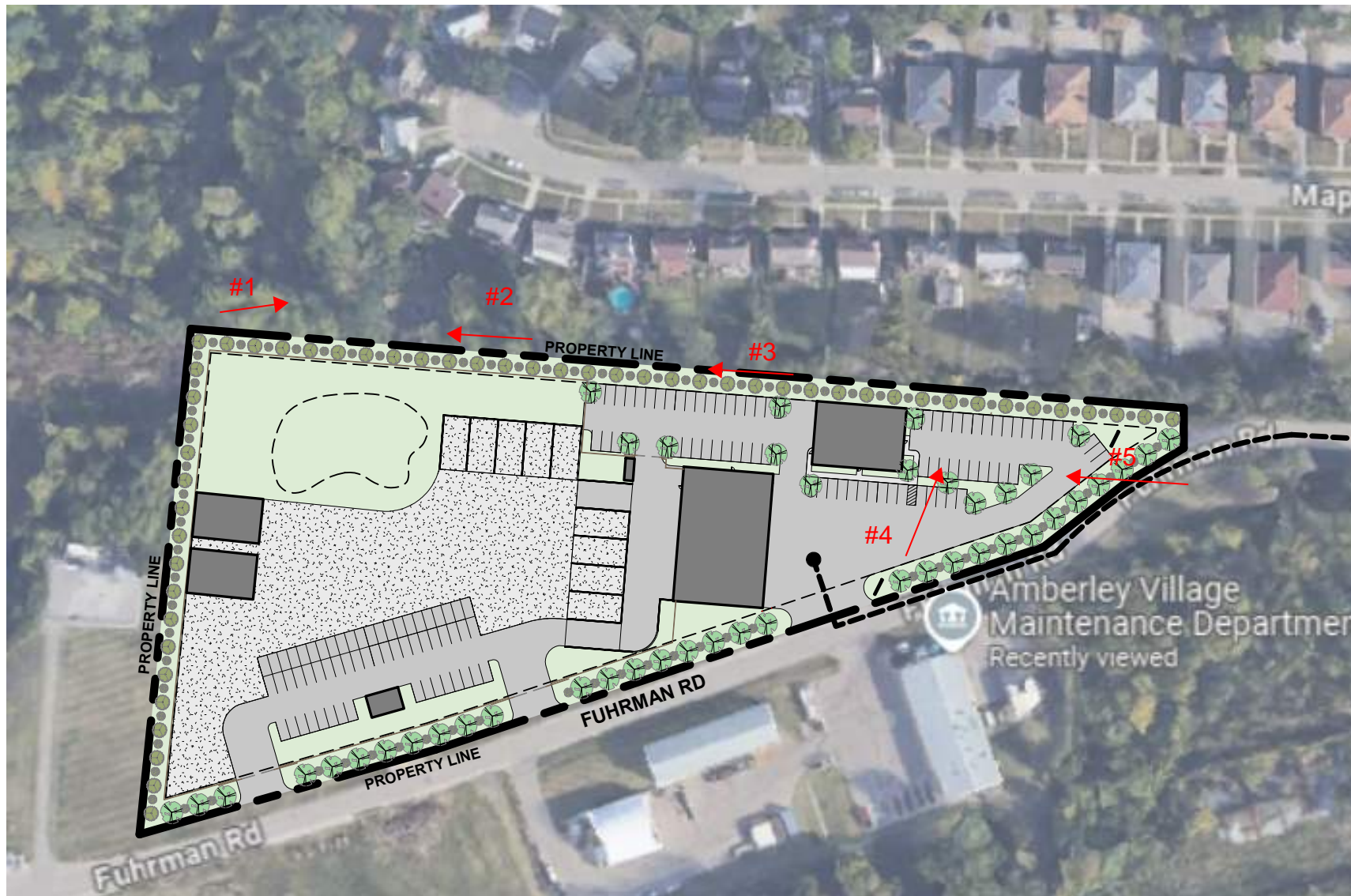


PHOTO #1



PHOTO #2



PHOTO #3



PHOTO #4



PHOTO #5



# CURRENT AMBERLY FENCE OFF FUHRMAN DR

6' Chainlink with barbwire security arms at top



# CURRENT AMBERLY METAL BUILDING OFF FUHRMAN DR



# CURRENT AMBERLY GATES OFF FUHRMAN DR

6' Chainlink Cantilever gate with barbwire security at top



# CURRENT AMBERLY FENCE OFF FUHRMAN DR

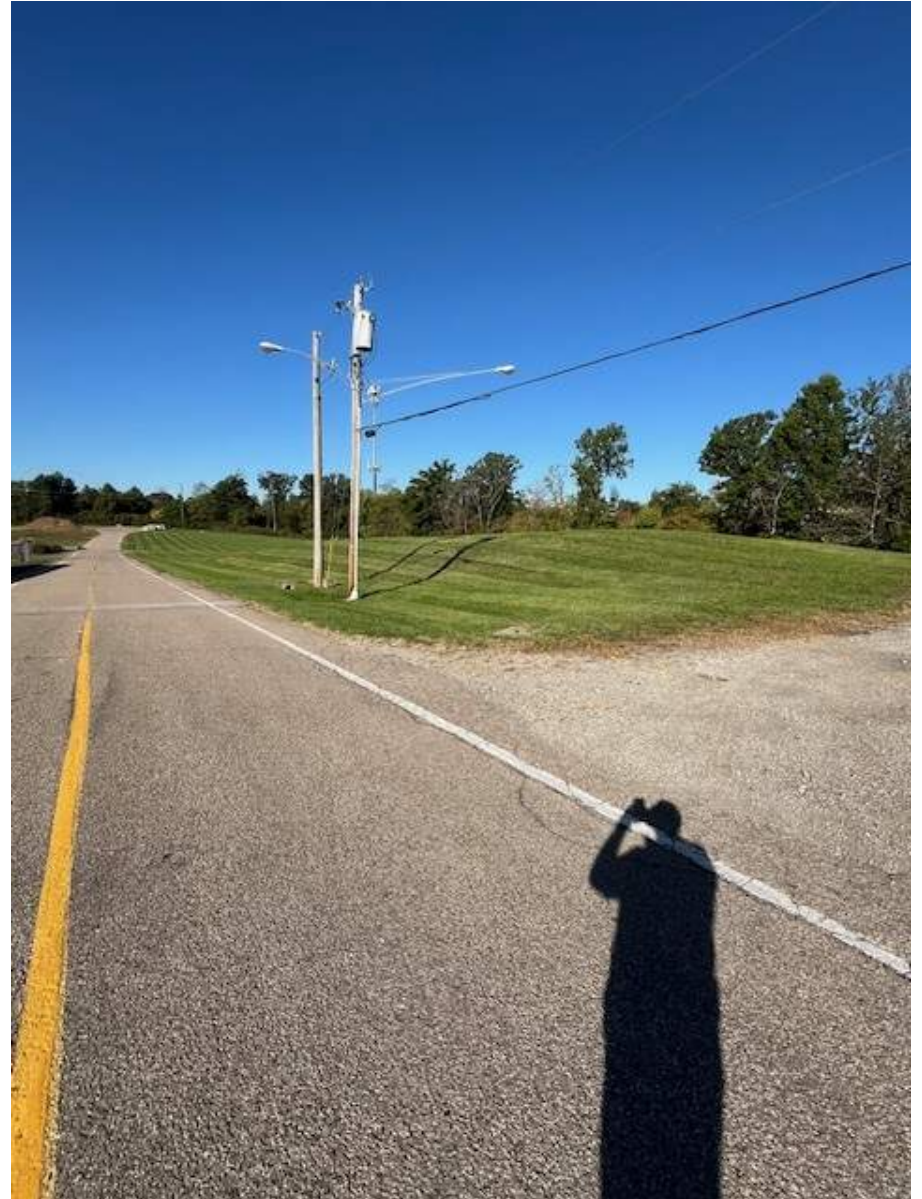
6' Chainlink with barbwire security arms at top



# CURRENT AMBERLY HOOPBARN OFF FUHRMAN DR



# MISC PHOTOS















# INTEGRITY - EXHIBIT B-1



**BOUNDARY BUFFER:**  
 - (4) PER 100' THUJA 'GREEN GIANT' ARBORVITAE 5'  
 - (4) PER 100' THUJA OCCIDENTALIS 'MR. BOWLING BALL' ARBORVITAE #3

**EXISTING BOUNDARY BUFFER:**  
 Existing vegetation to remain in 20' buffer zone along North Property Border

**STREETSCAPE BUFFER:**  
 - (4) PER 100' ACER RUBRUM 'OCTOBER GLORY' 2.5" CALIPER B&B  
 - (4) PER 100' THUJA OCCIDENTALIS 'MR. BOWLING BALL' ARBORVITAE #3

**LIGHTING LEGEND**

	LIGHT POLE
	DIRECTIONAL LIGHT POLE
	WALL-MOUNTED LIGHT

**PROPERTY INFORMATION:**

**LAND USE DESIGNATION:**  
 'NORTH SITE'  
 (PER AMBERLEY VILLAGE ZONING MAP)

**ADDRESS:**  
 7149 RIDGE RD  
 CINCINNATI OH 45237

**JURISDICTION:**  
 AMBERLEY VILLAGE

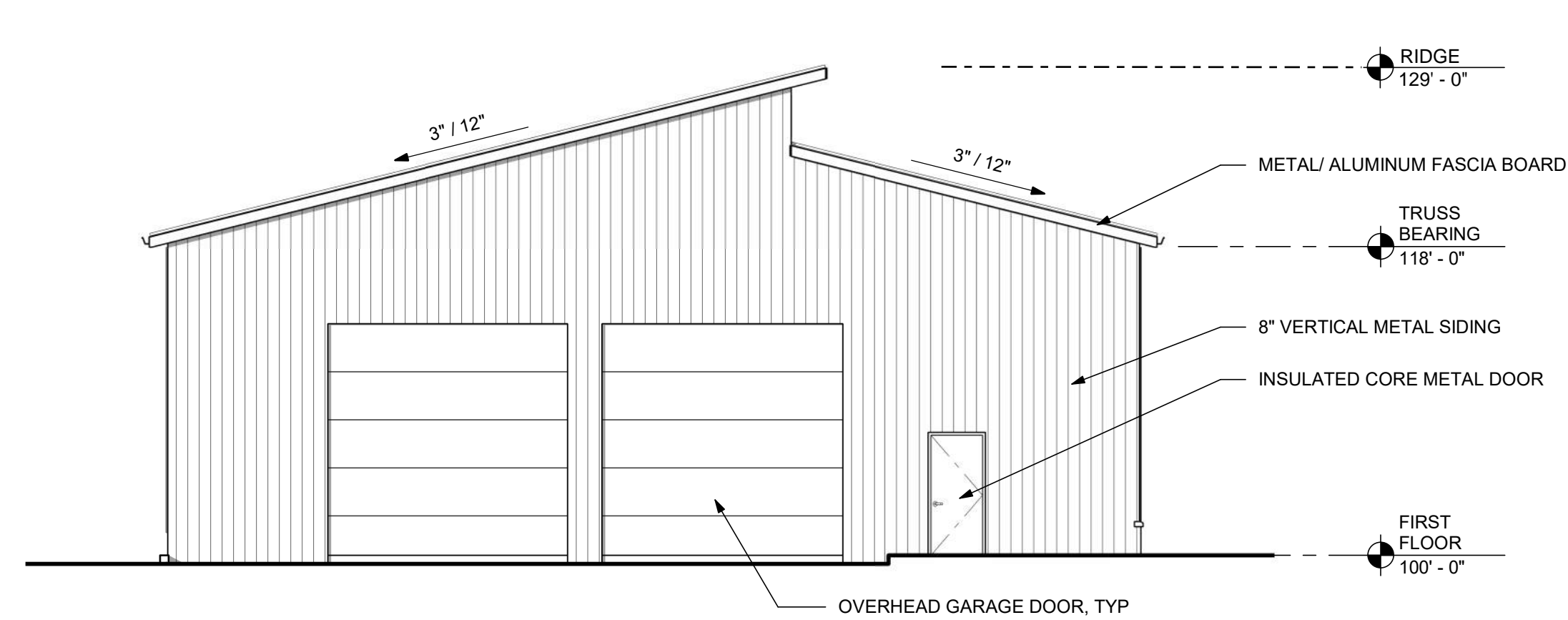
**ACREAGE:**  
 5.569 ACRES (242,586 SF)

**IMPERVIOUS SURFACE SITE RATIO**

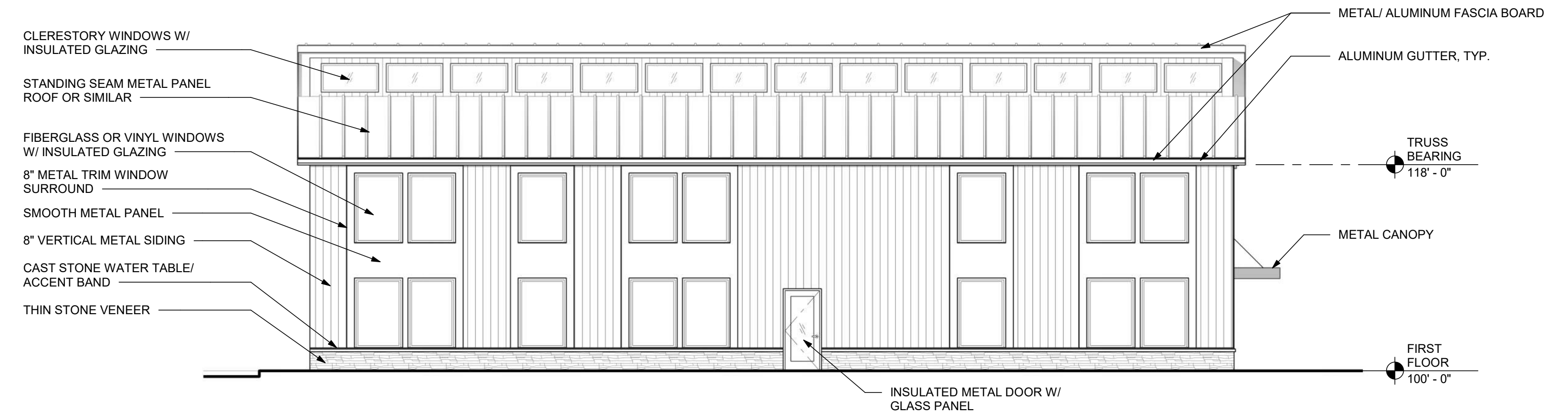
ASPHALT	80,906 SF	33% OF SITE
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**PROPOSED PARKING (STANDARD SIZE: 9'x18'):**

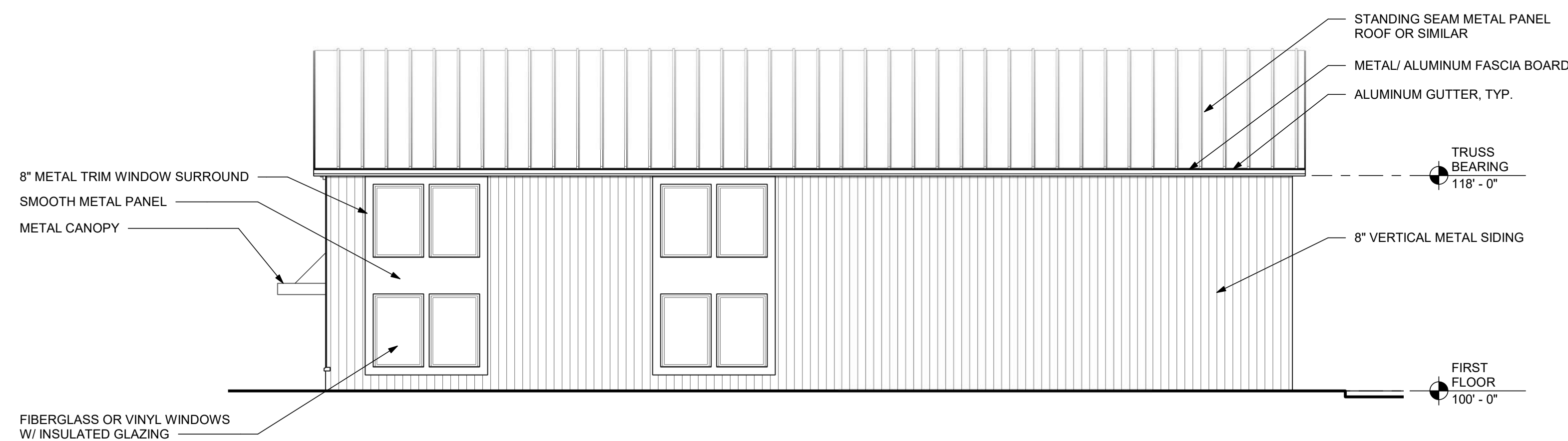
EMPLOYEE PARKING	70 SPACES
CUSTOMER PARKING	60 SPACES
<b>TOTAL</b>	<b>130 SPACES</b>



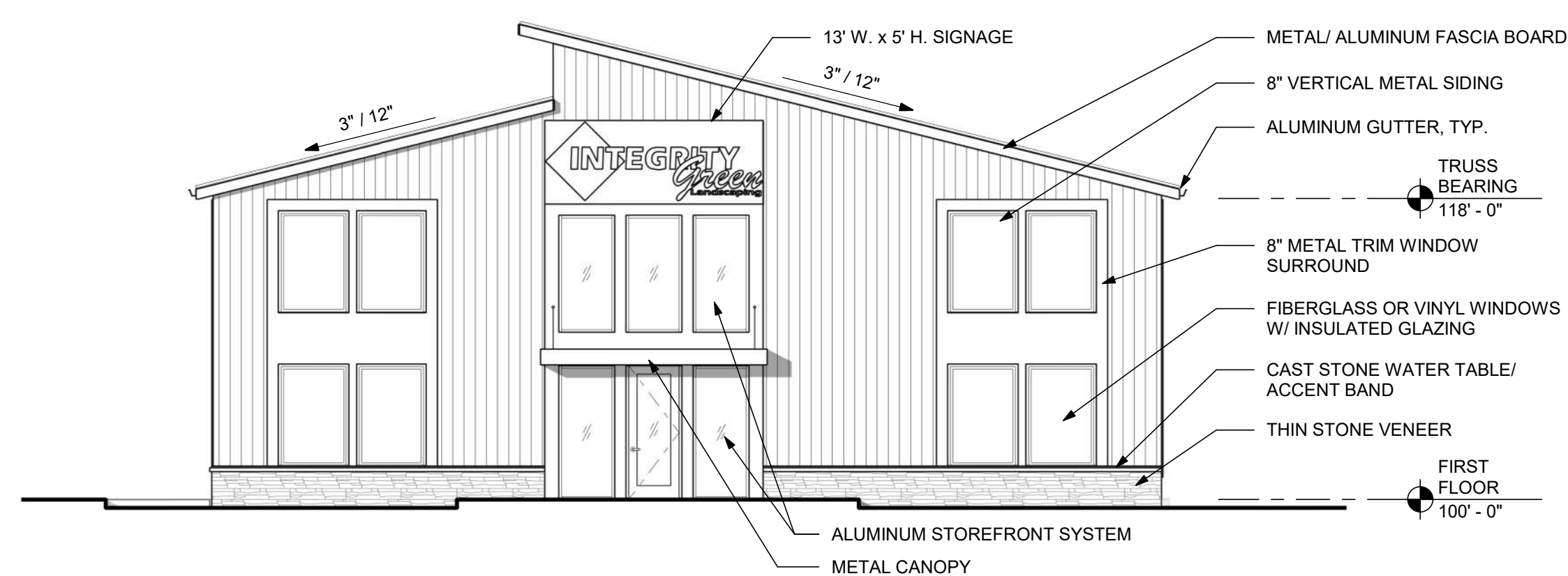
4 WEST ELEVATION  
A3 1/8" = 1'-0"



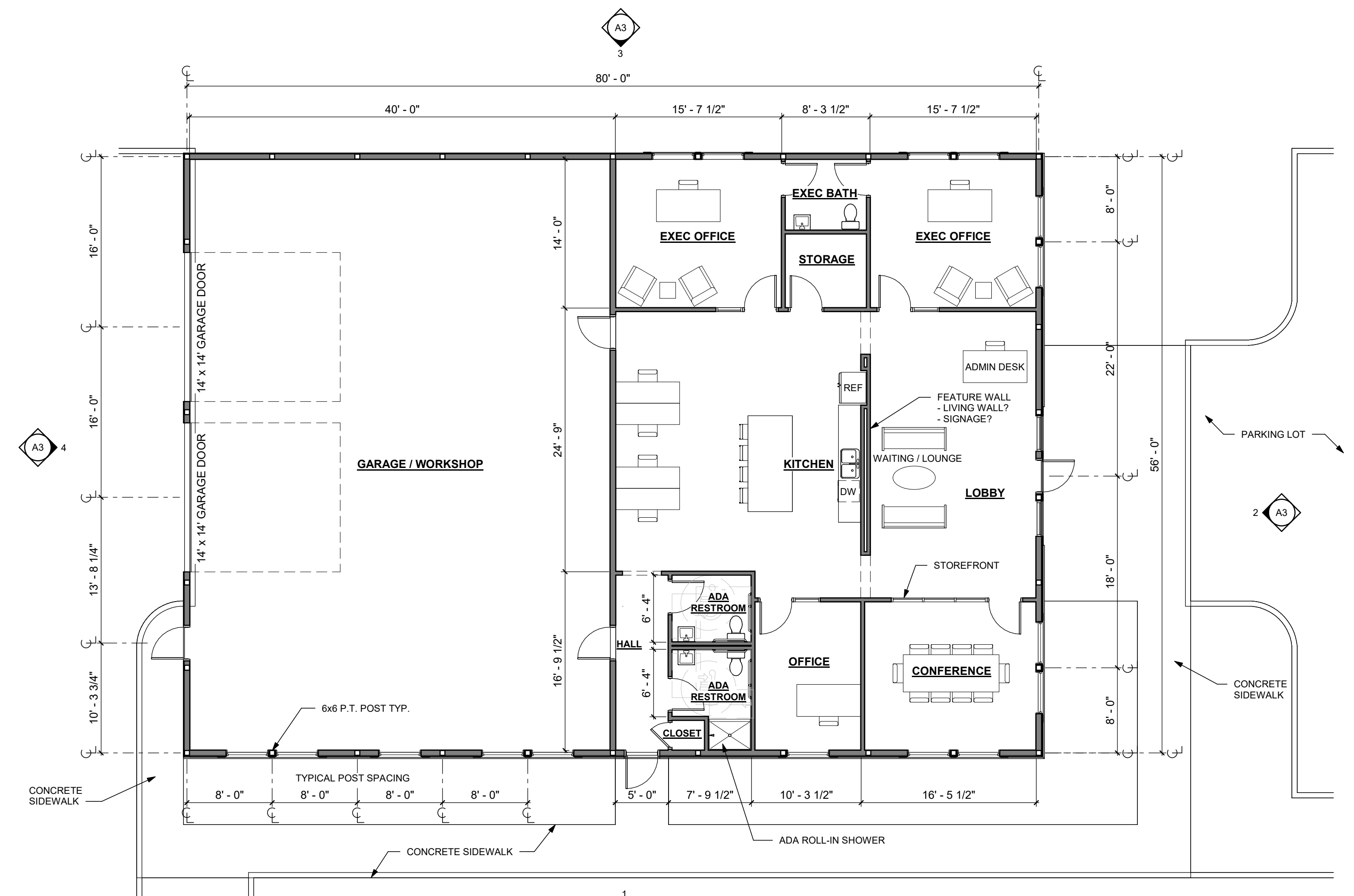
1 SOUTH ELEVATION  
A3 1/8" = 1'-0"



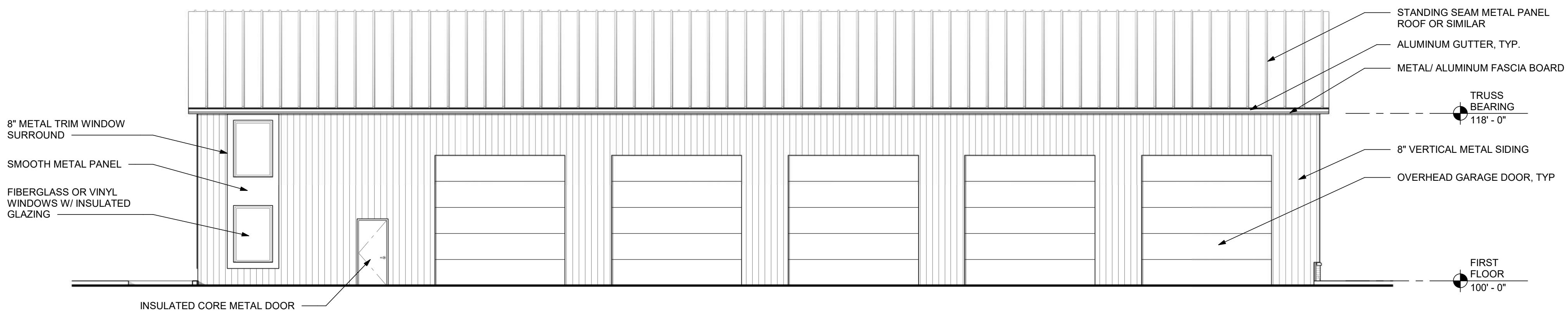
3 NORTH ELEVATION  
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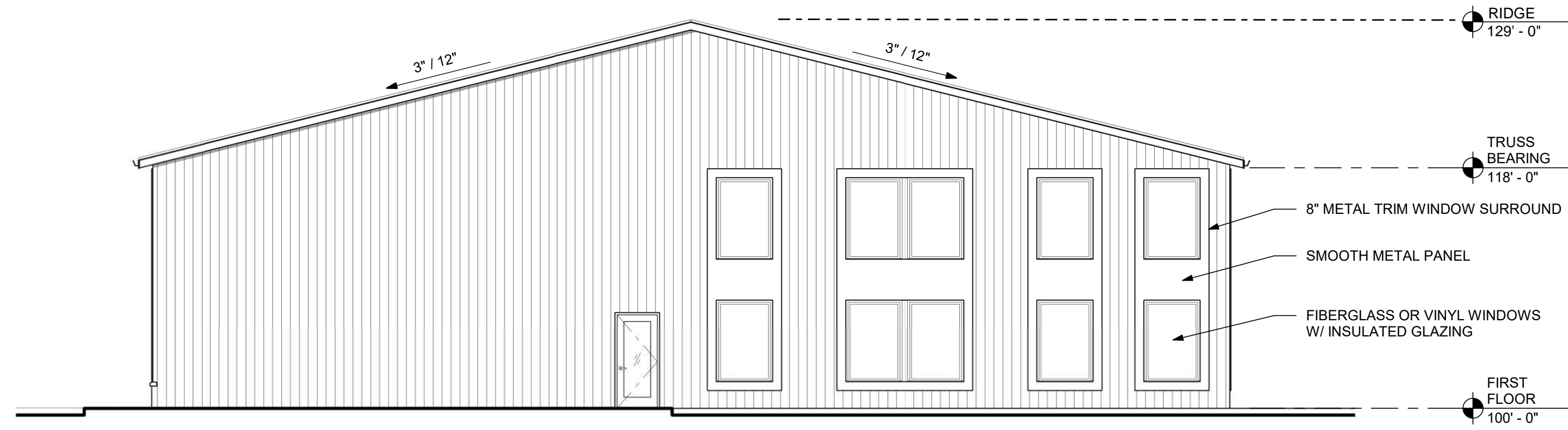
2 EAST ELEVATION  
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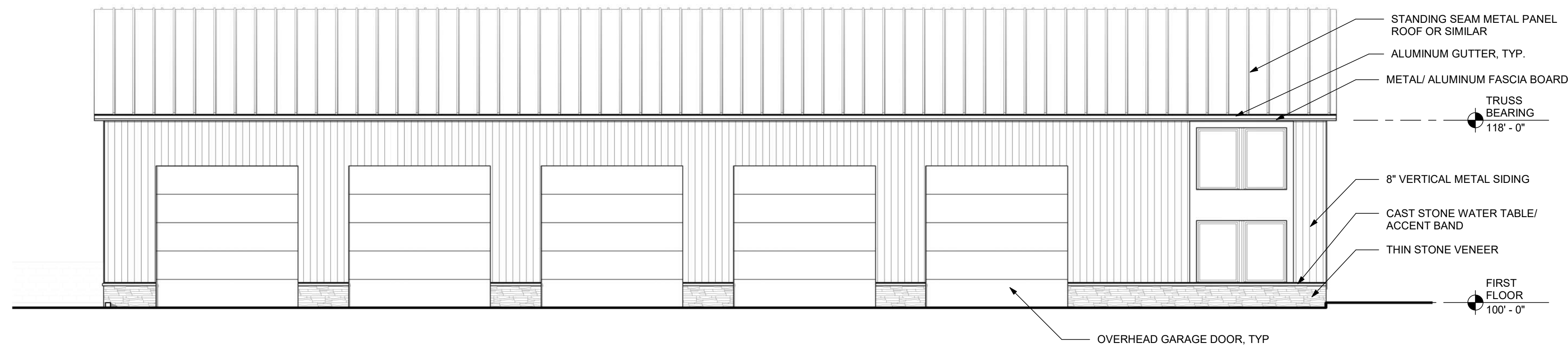
FLOOR PLAN  
1/8" = 1'-0"



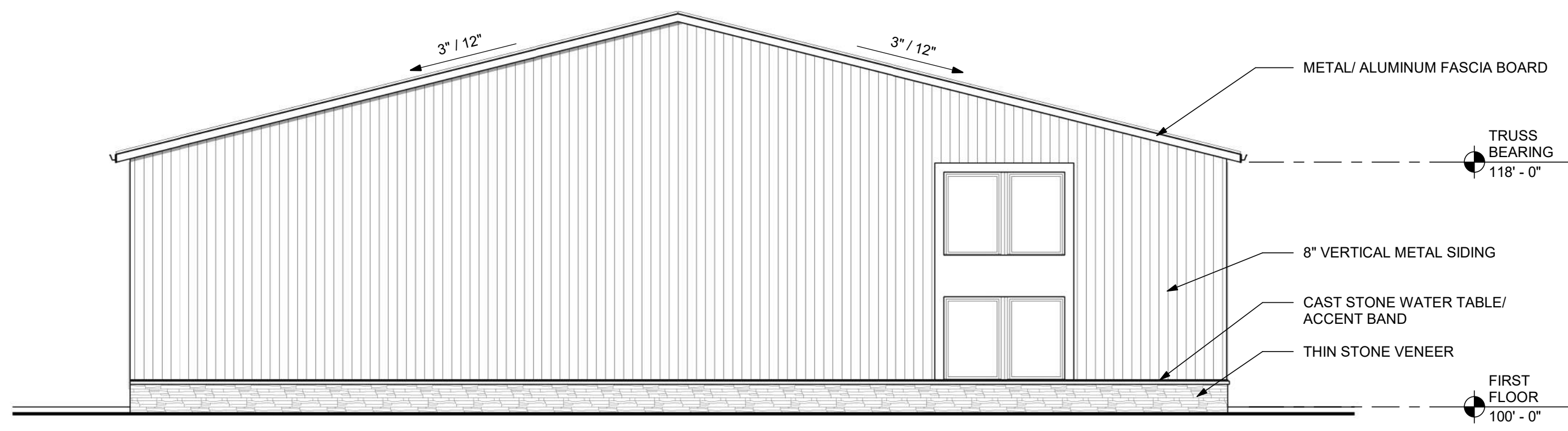
**5 WEST ELEVATION**  
 A4 1/8" = 1'-0"



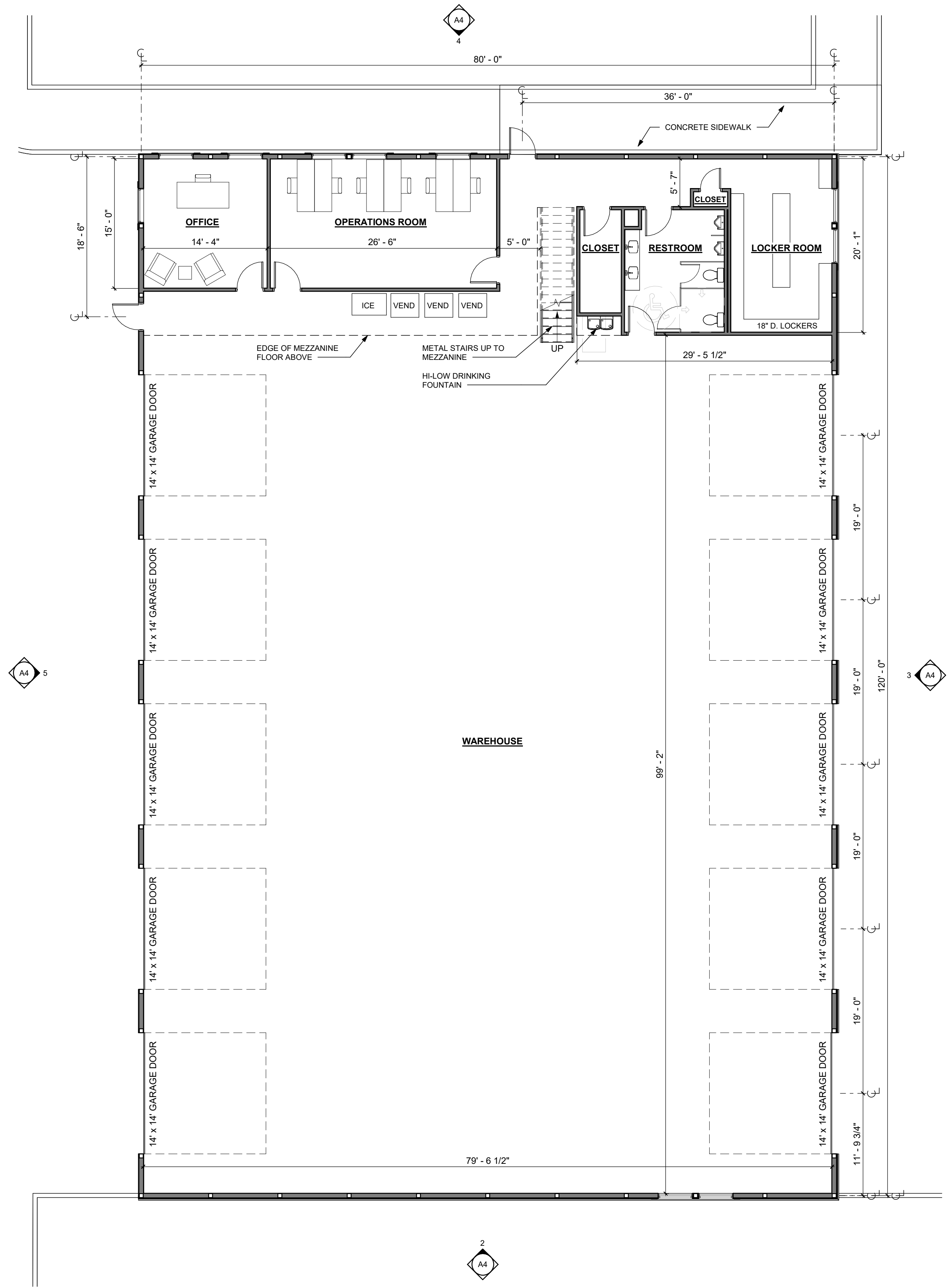
**4 NORTH ELEVATION**  
 A4 1/8" = 1'-0"



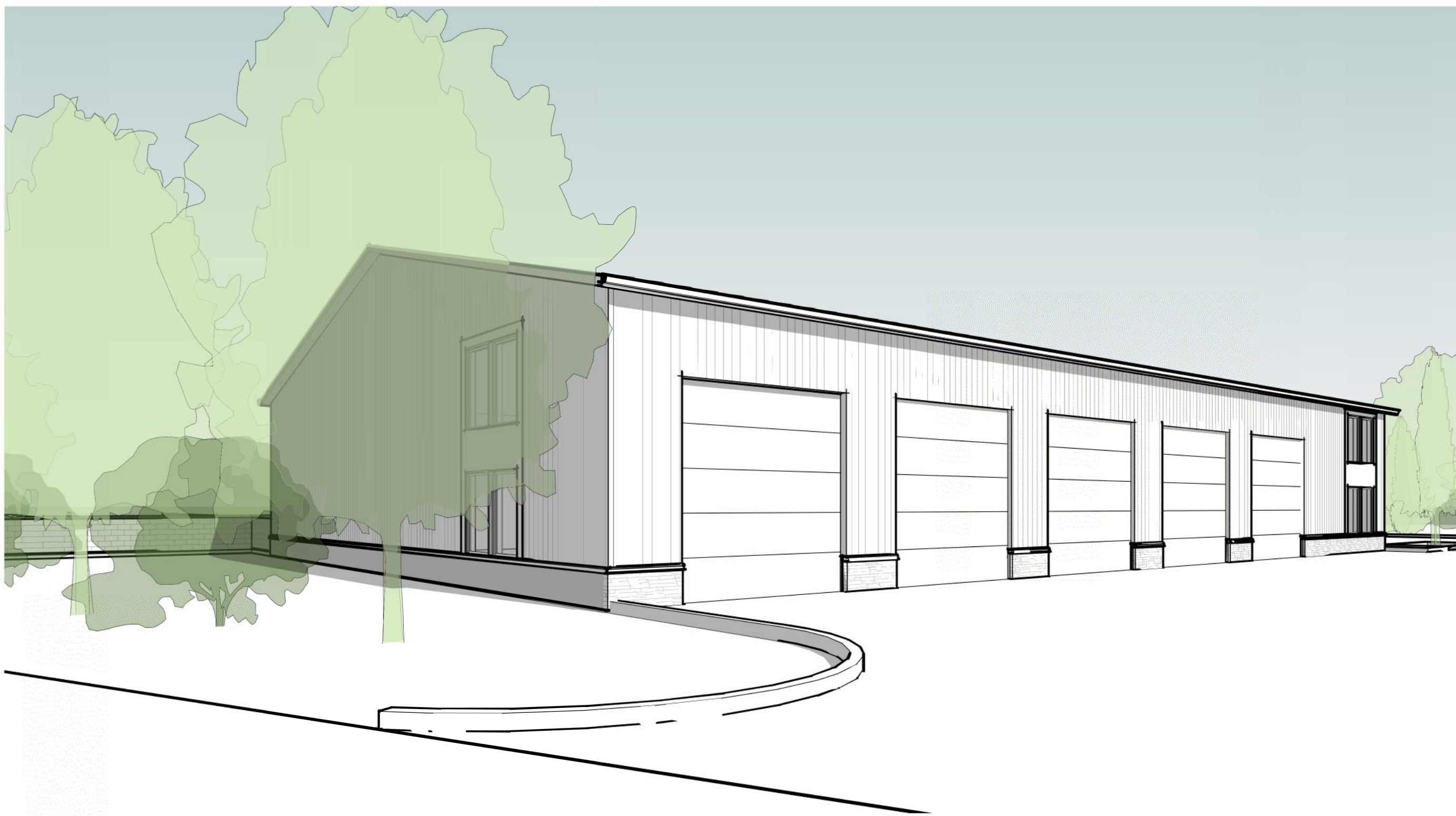
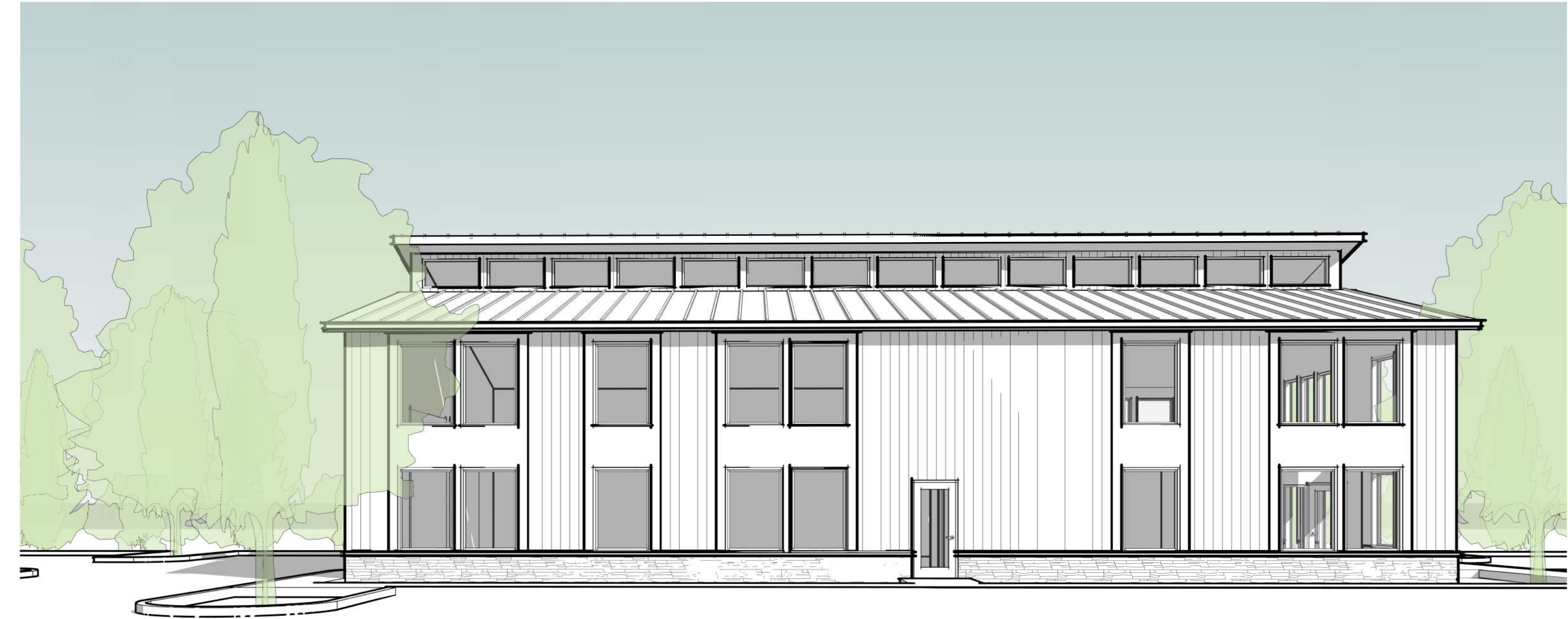
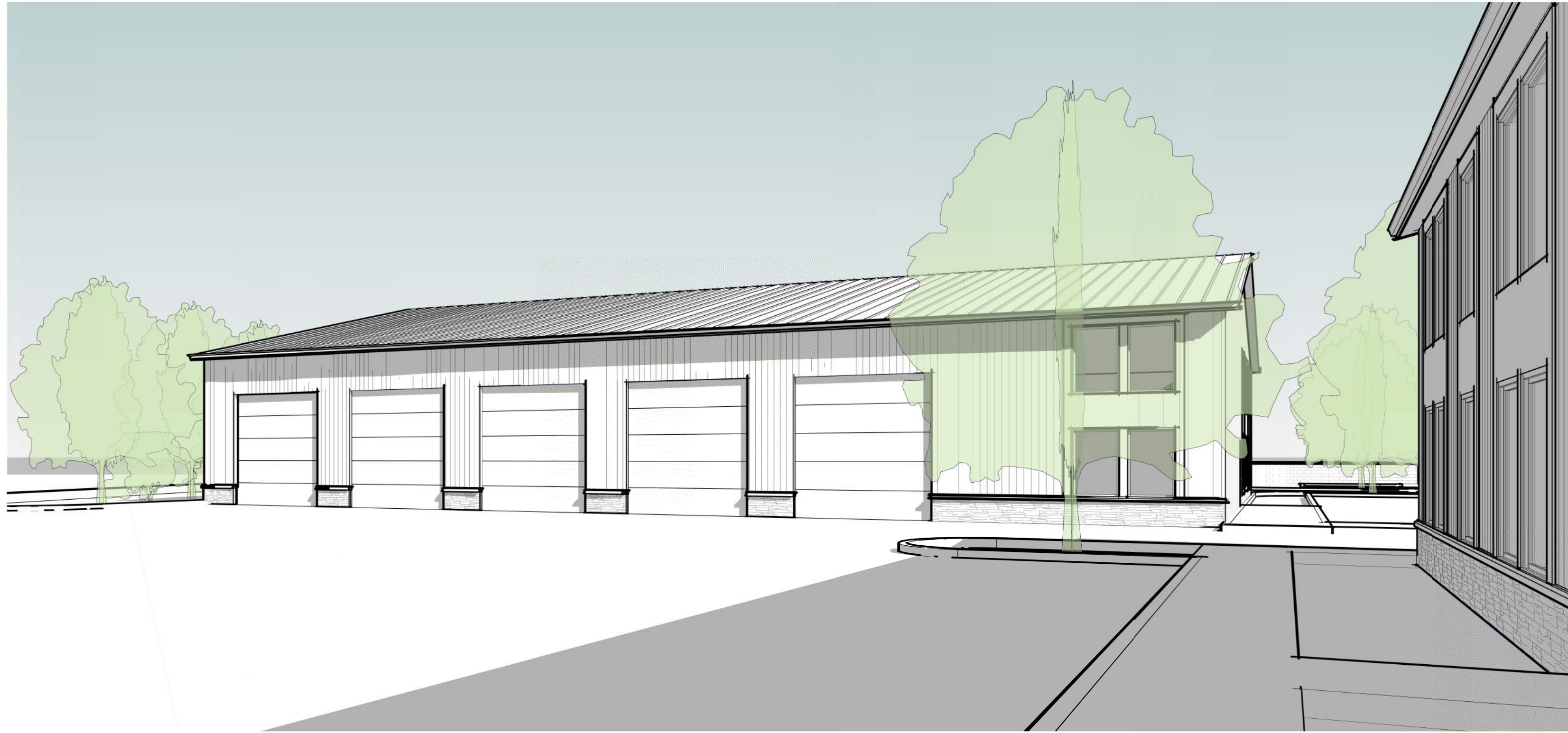
**3 EAST ELEVATION**  
 A4 1/8" = 1'-0"

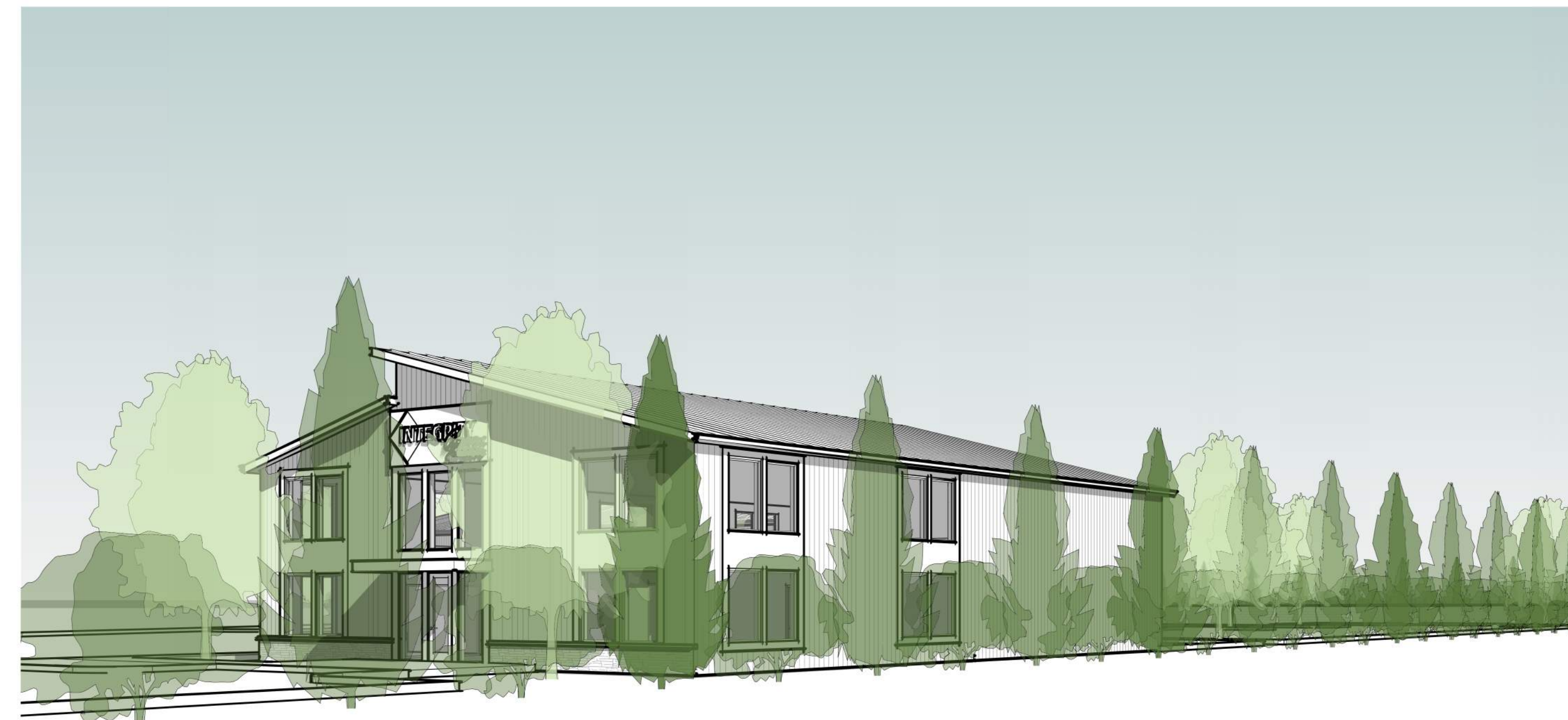
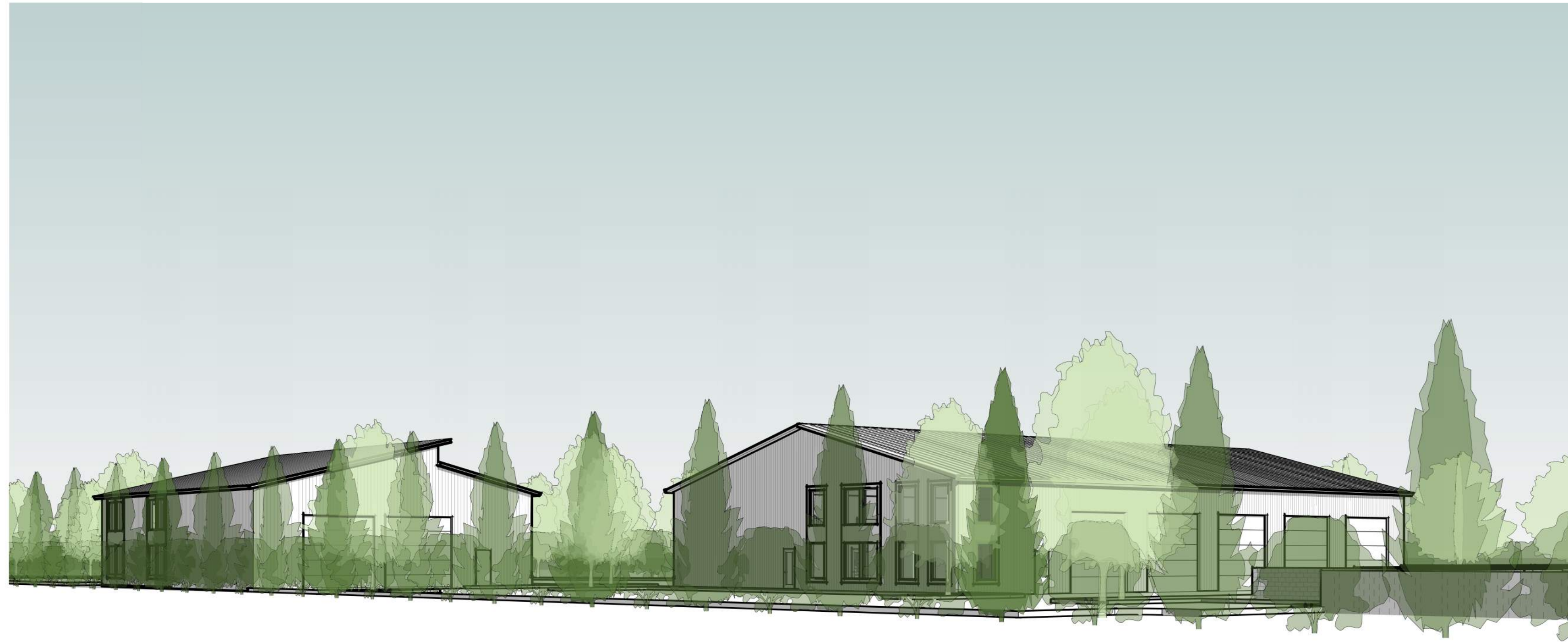


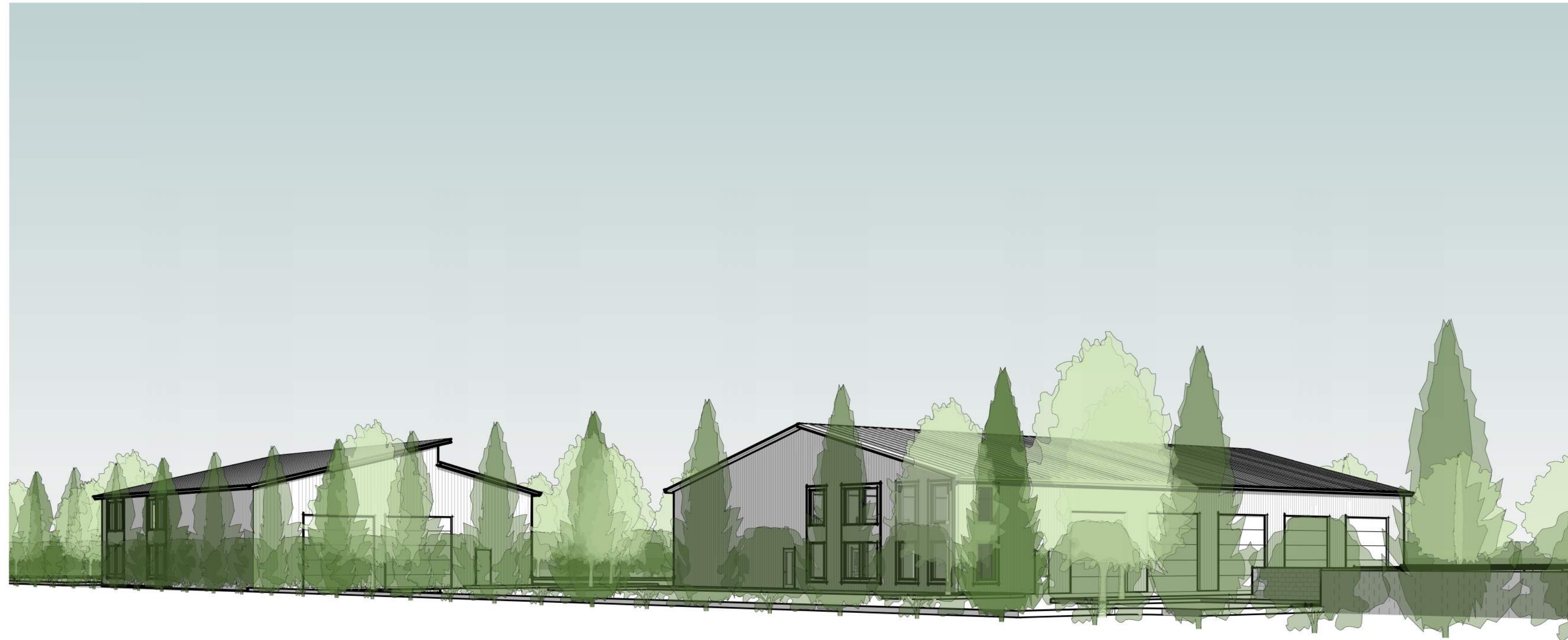
**2 SOUTH ELEVATION**  
 A4 1/8" = 1'-0"



**FLOOR PLAN**  
 1/8" = 1'-0"



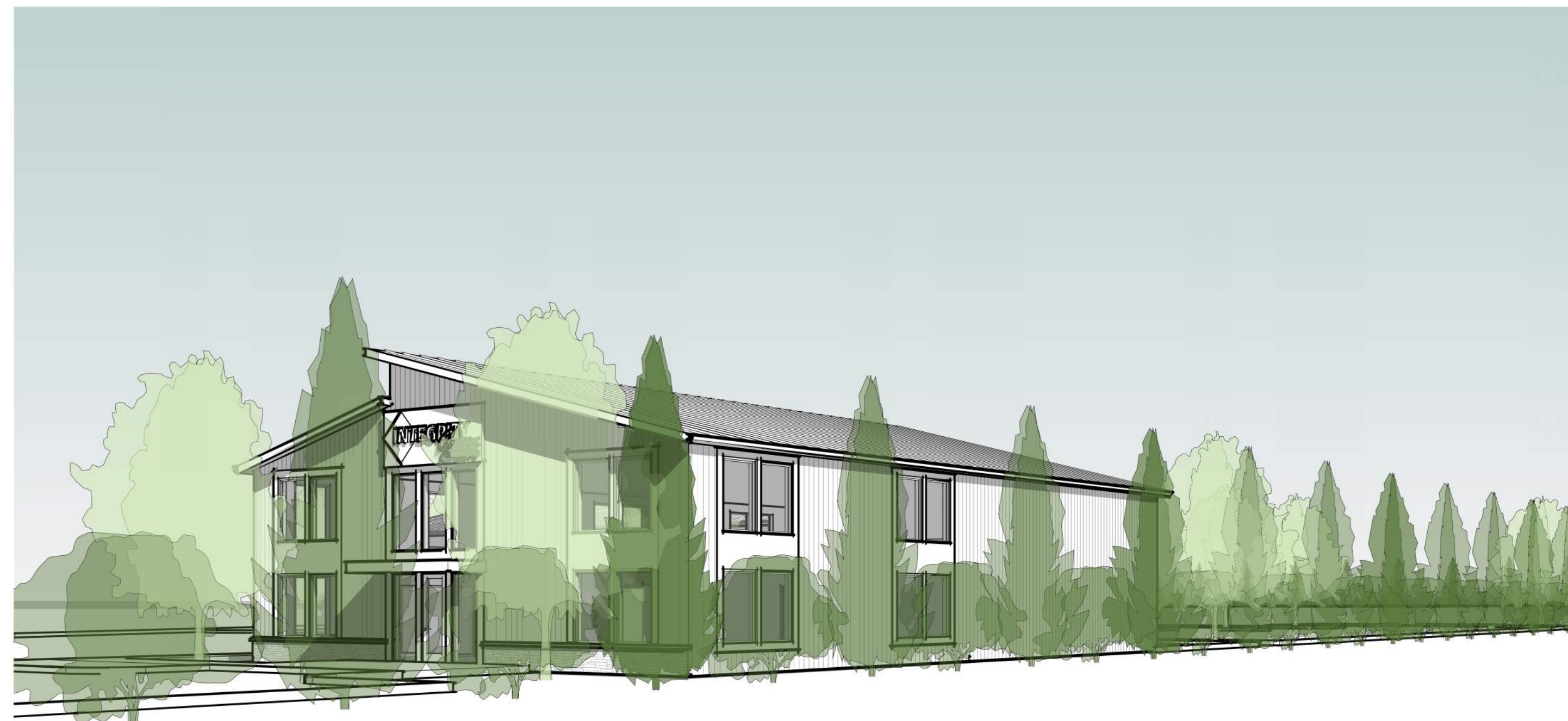




SOUTH EAST VIEW - FROM MAPLE DR



WESTERN VIEW - FROM FUHRMAN RD

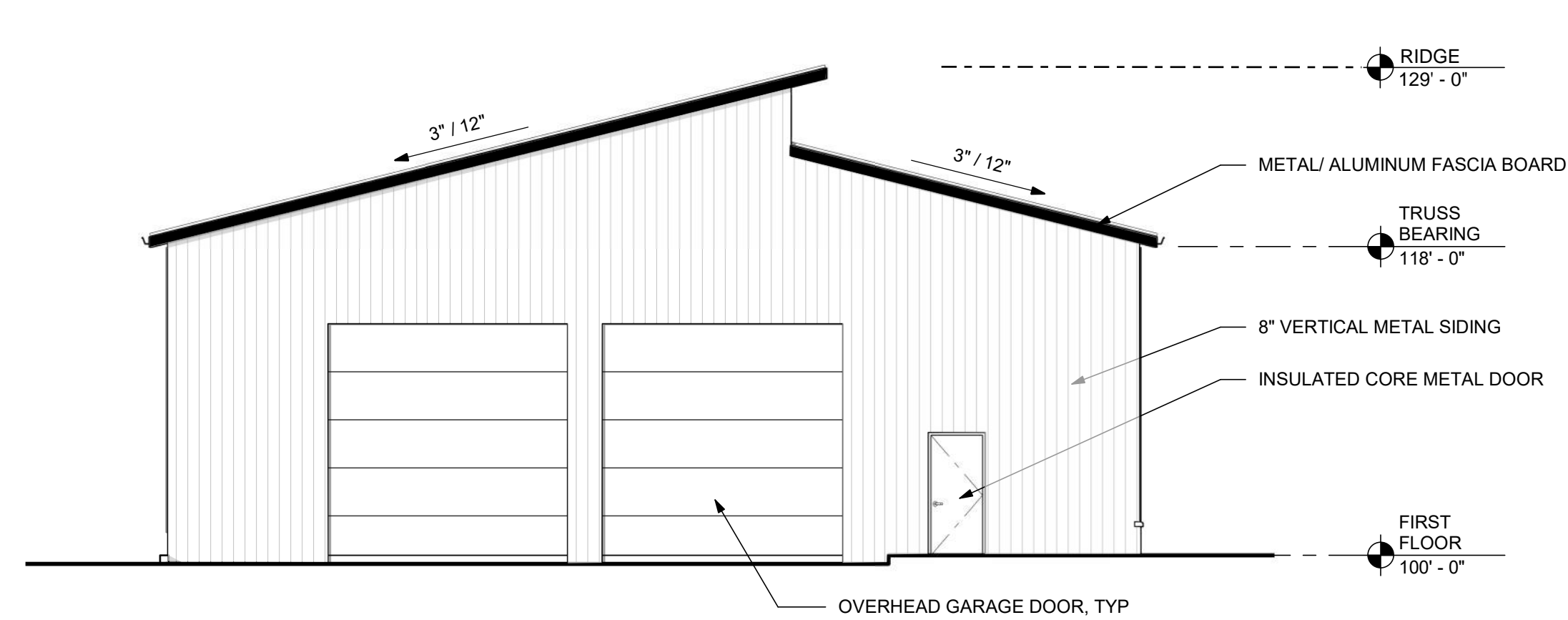


SOUTH WEST VIEW - FROM MAPLE DR

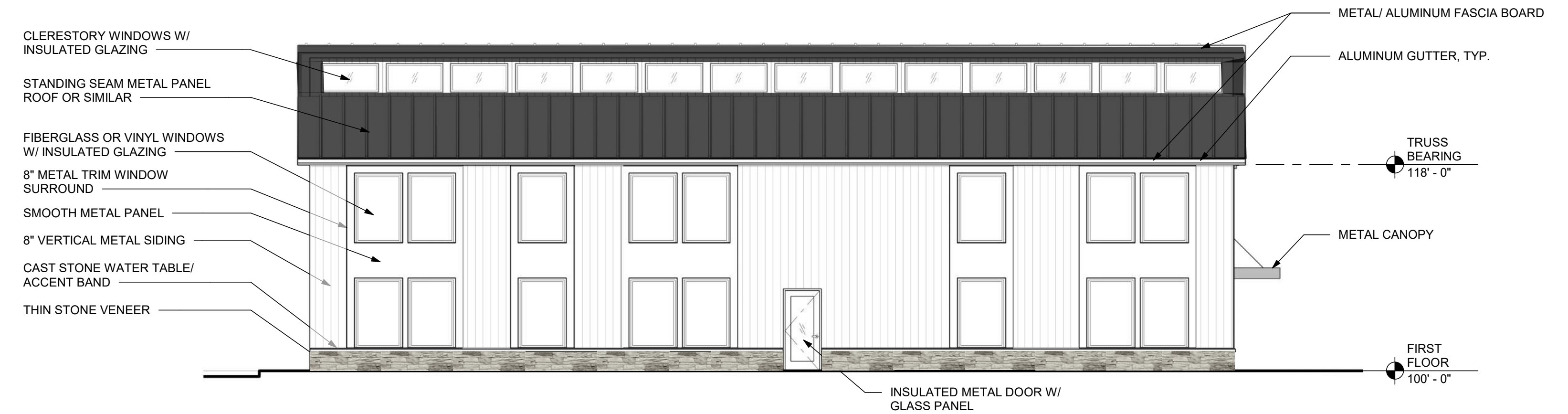


EASTERN VIEW - FROM FUHRMAN RD

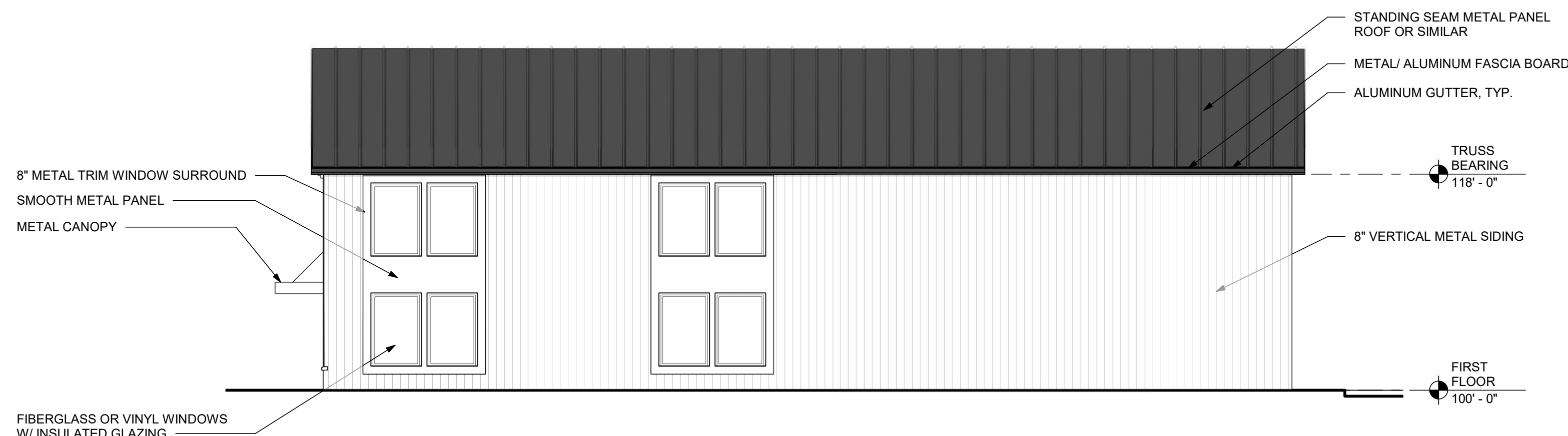
# PRELIMINARY COLOR SELECTIONS



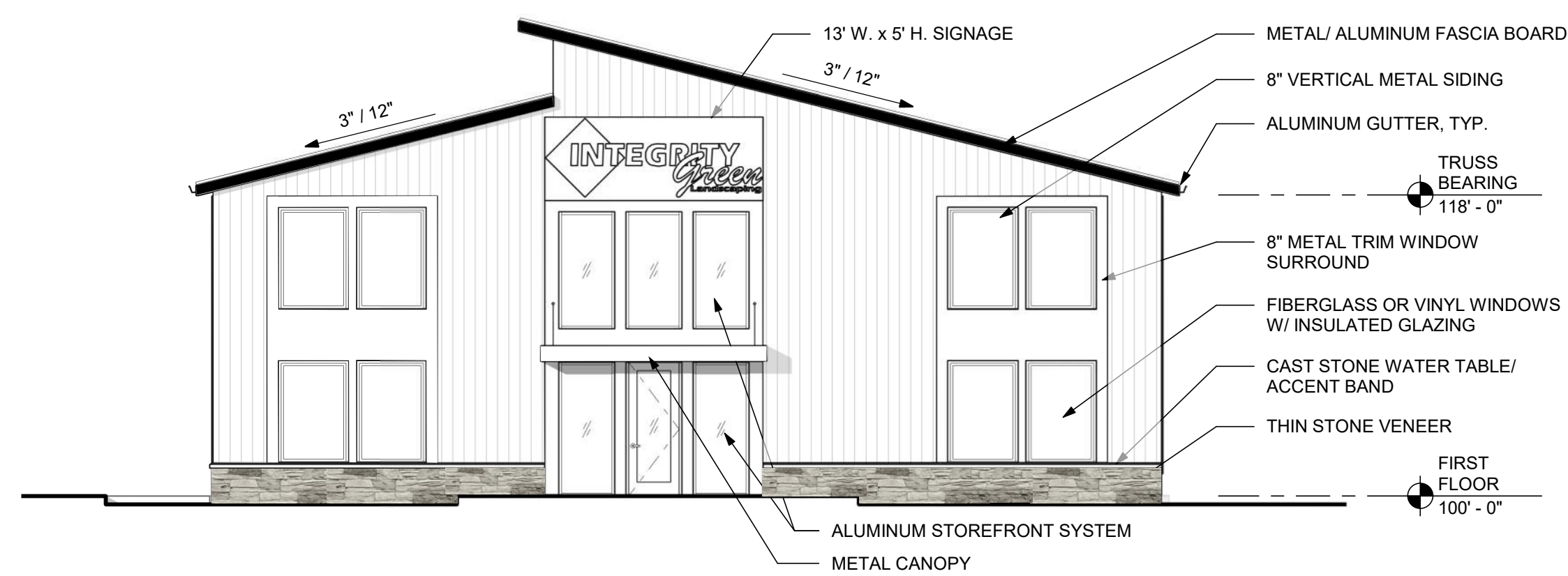
4 WEST ELEVATION  
A3 1/8" = 1'-0"



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A3 1/8" = 1'-0"



3 NORTH ELEVATION  
A3 1/8" = 1'-0"



2 EAST ELEVATION  
A3 1/8" = 1'-0"

### FINISH SELECTIONS

**Windows & Door Trim**

Bright White

**Siding Metal**

Bright White

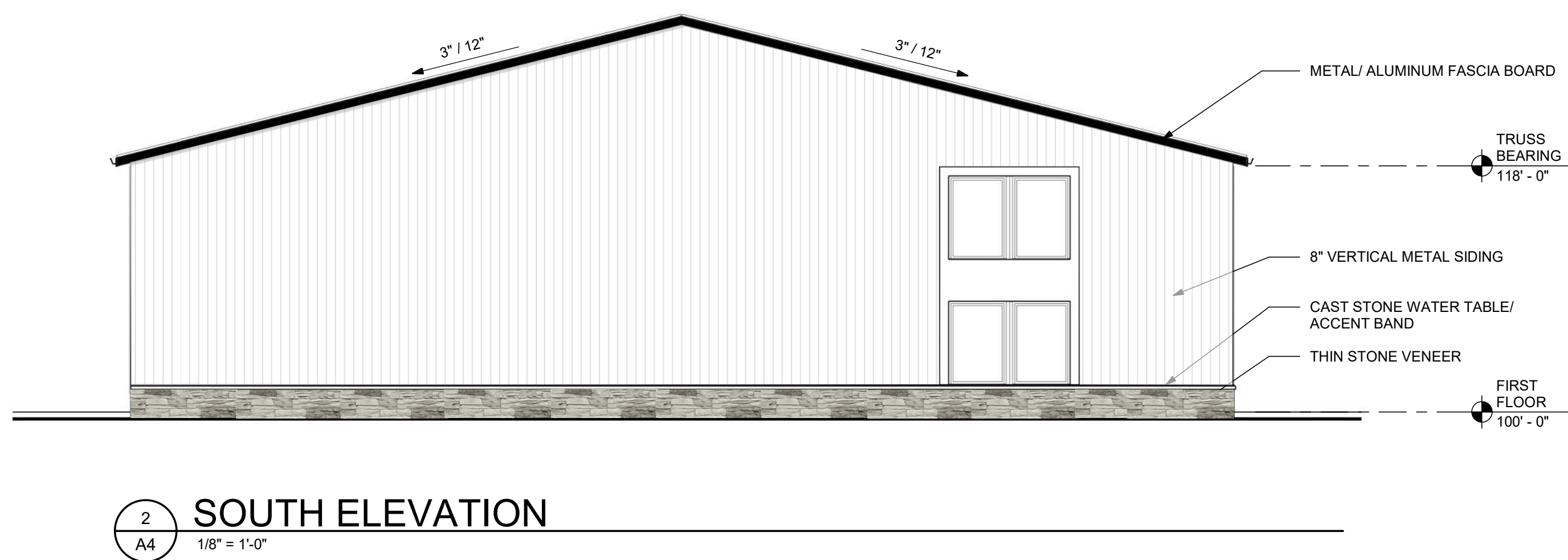
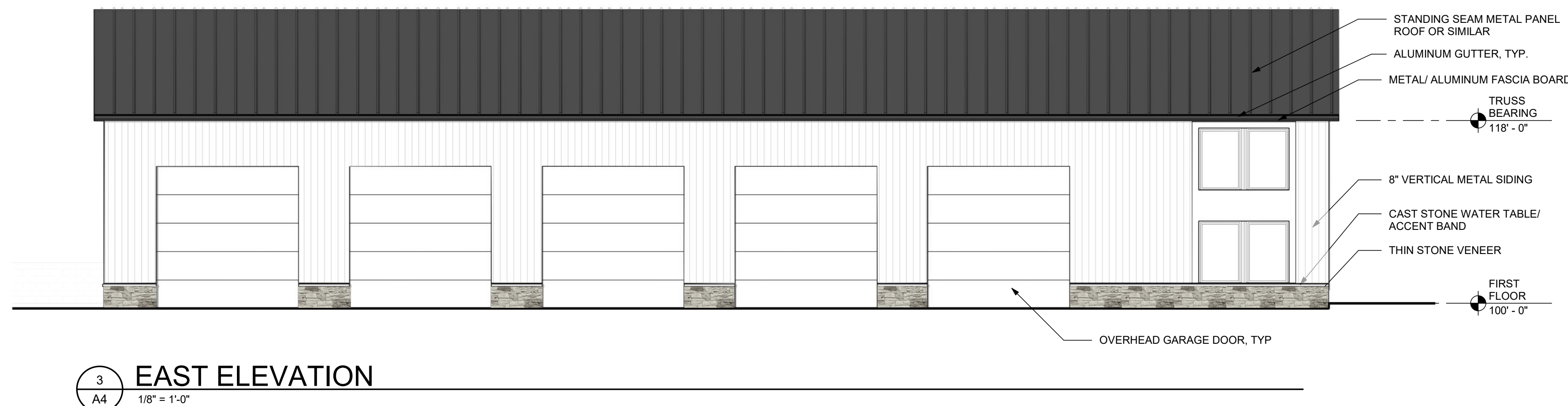
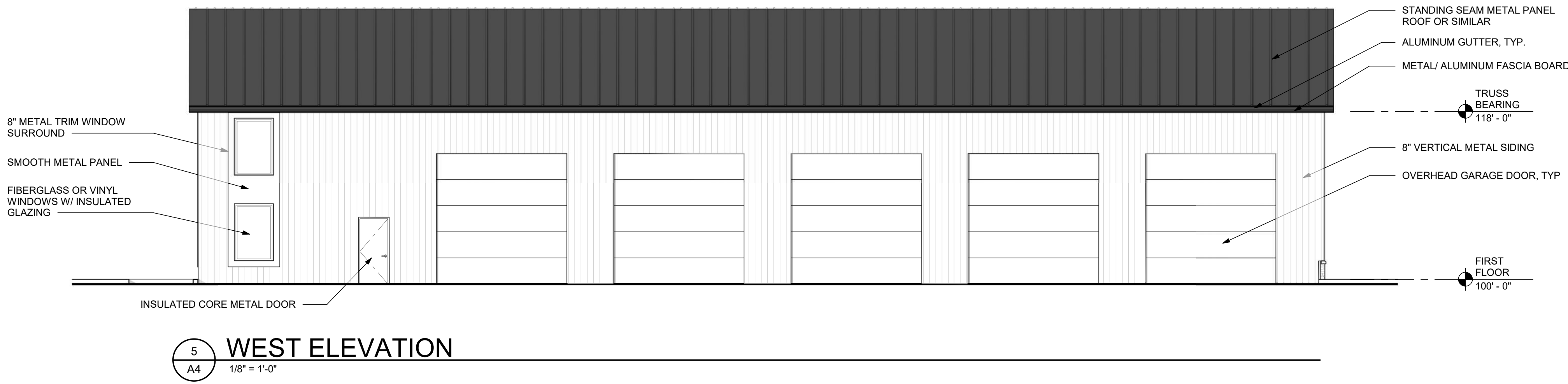
**Roof Metal**

Black

**Stone**

**Arctic Smoke**  
Soft White with Light Gray and Carbon Highlights

# PRELIMINARY COLOR SELECTIONS



## FINISH SELECTIONS

Windows & Door Trim

Bright White

Siding Metal

Bright White

Roof Metal

Black

Stone

**Arctic Smoke**  
Soft White with Light Gray and Carbon Highlights

# COLOR / DESIGN INSPIRATION

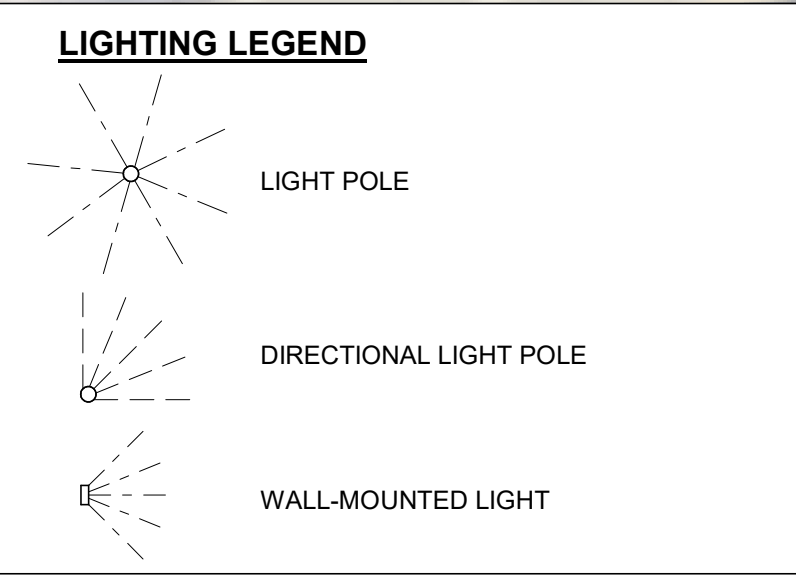


INTEGRITY - EXHIBIT B-1





**STREETSCAPE BUFFER:**  
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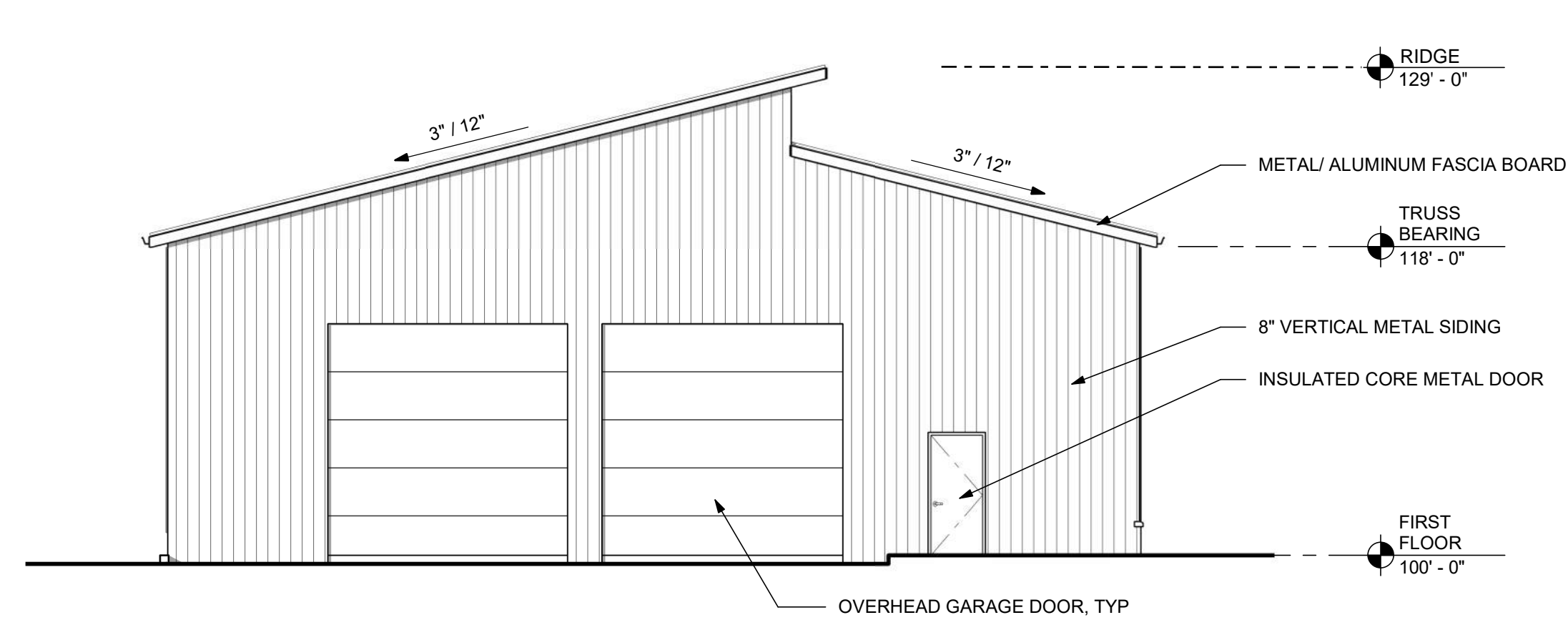
**ACREAGE:**  
 5.1017 ACRES (222,230 SF)

**IMPERVIOUS SURFACE SITE RATIO**

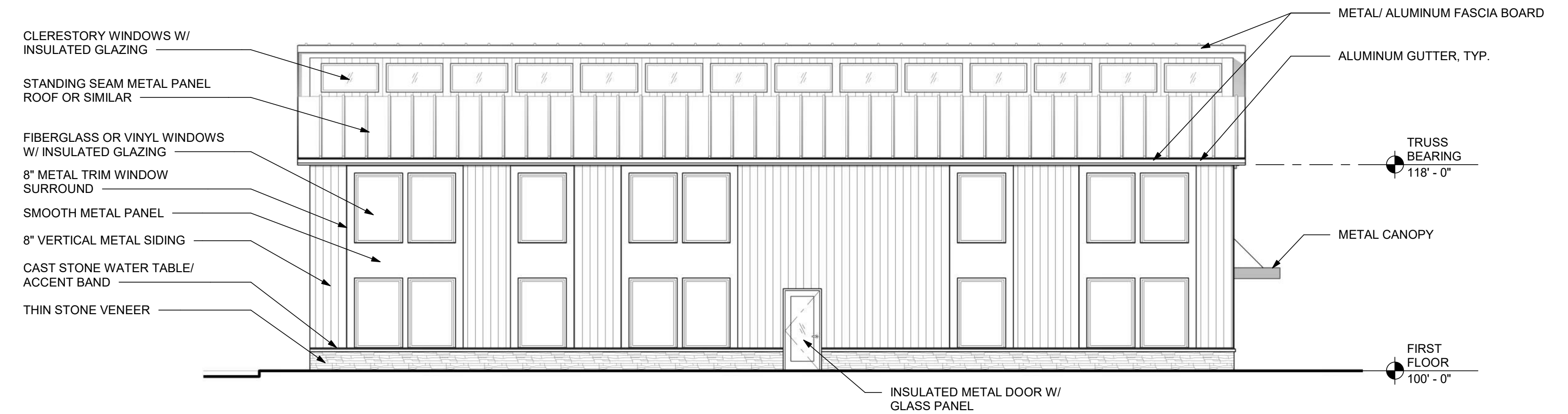
ASPHALT	76,161 SF	34% OF SITE
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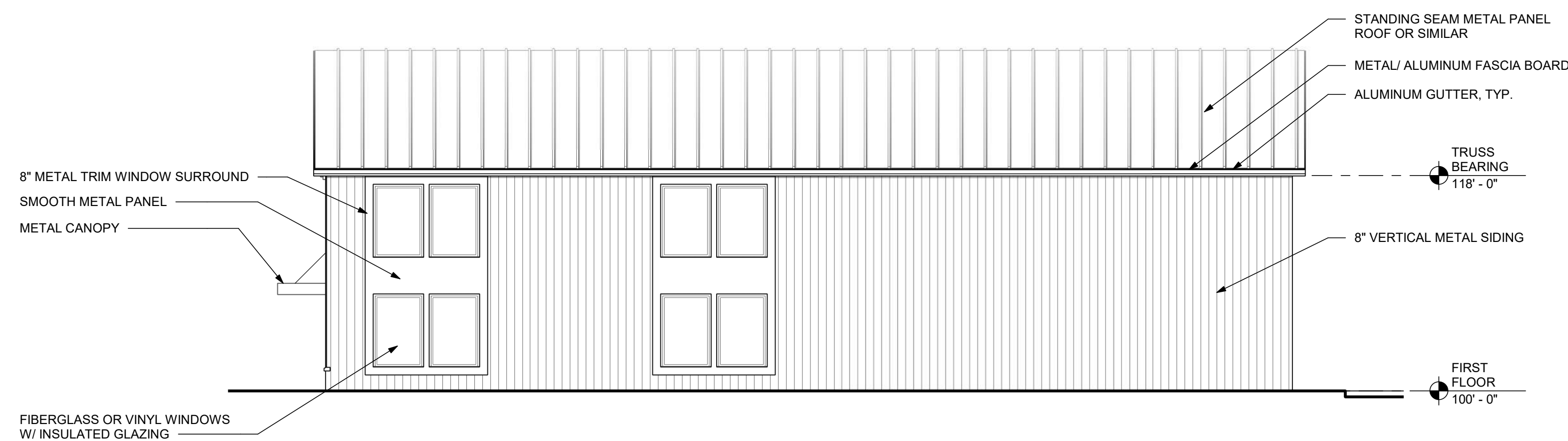
EMPLOYEE PARKING	62 SPACES
CUSTOMER PARKING	60 SPACES
<b>TOTAL</b>	<b>130 SPACES</b>



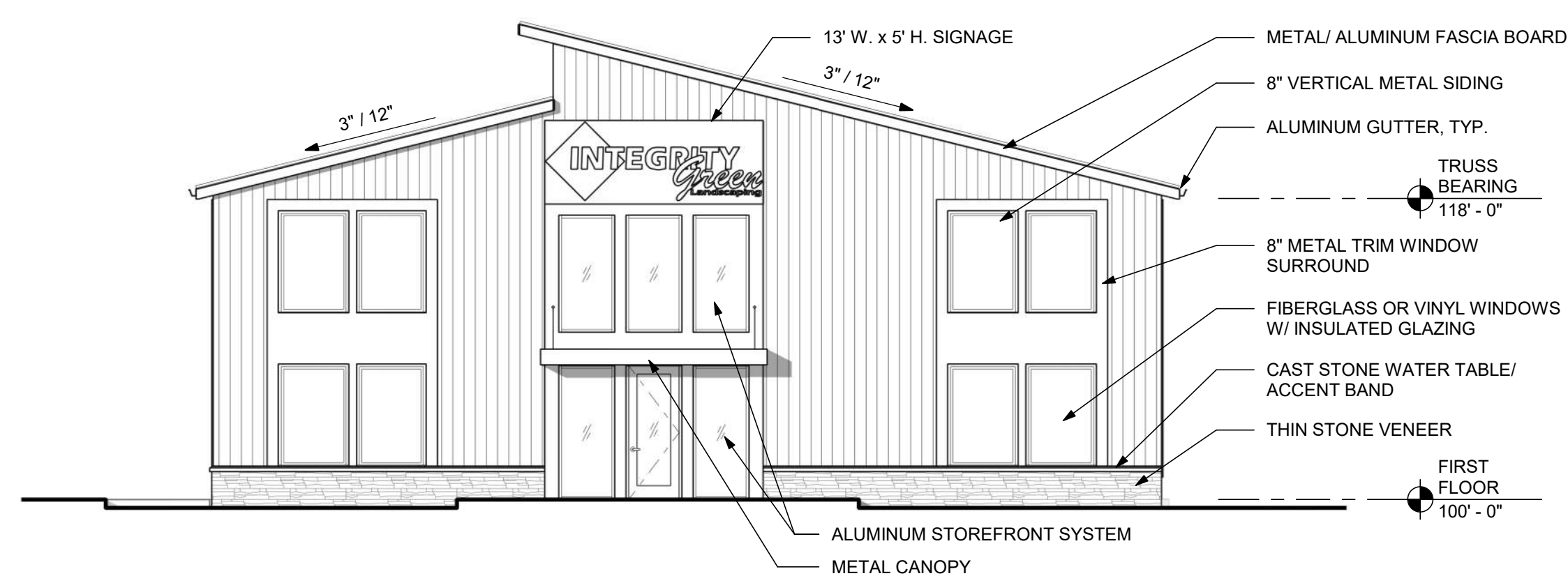
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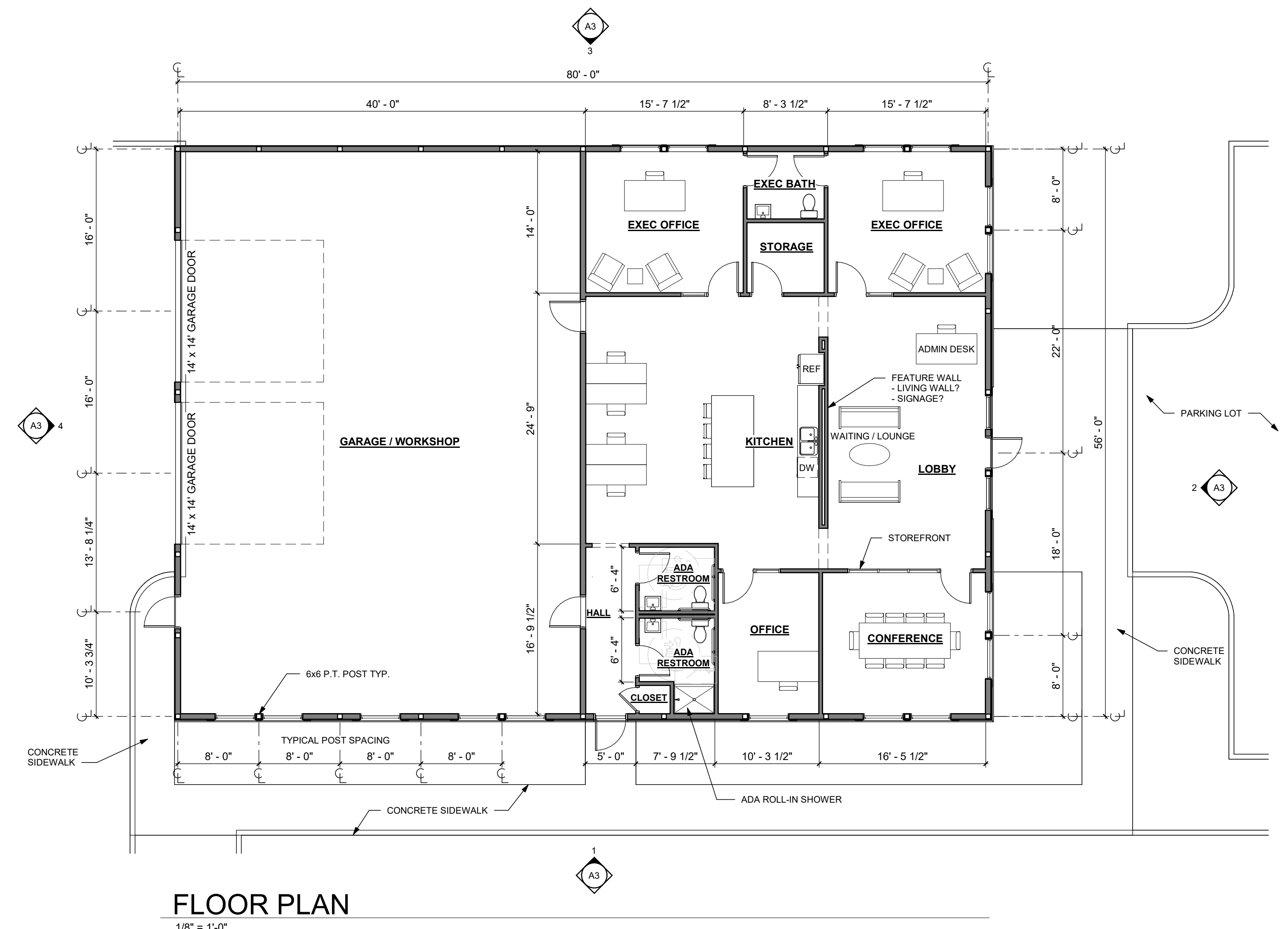
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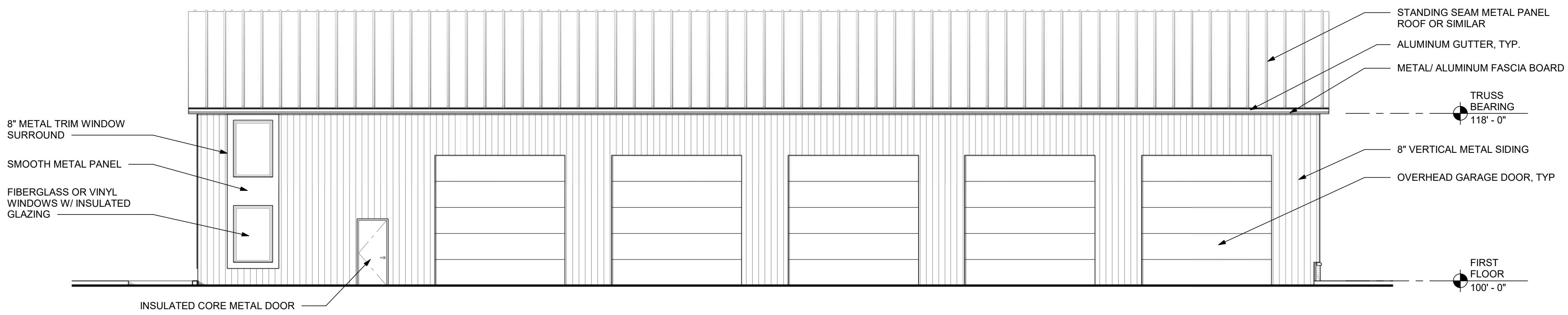
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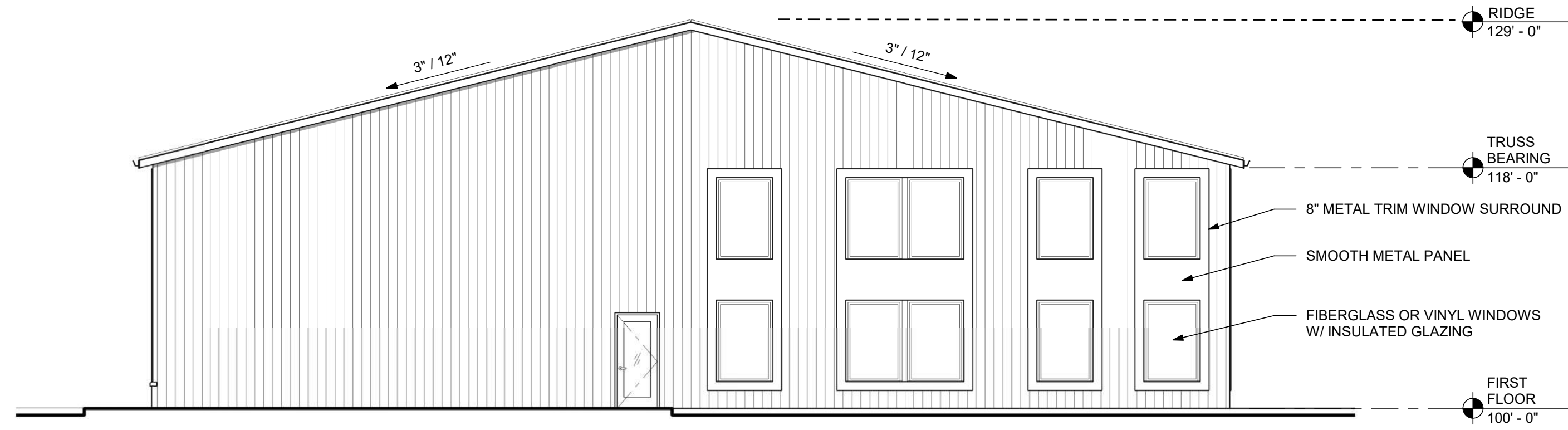
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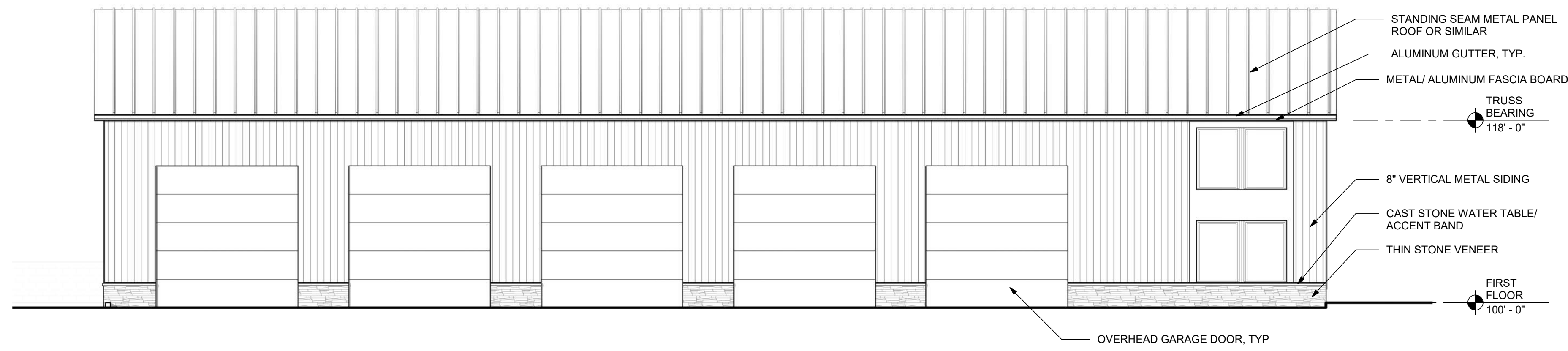
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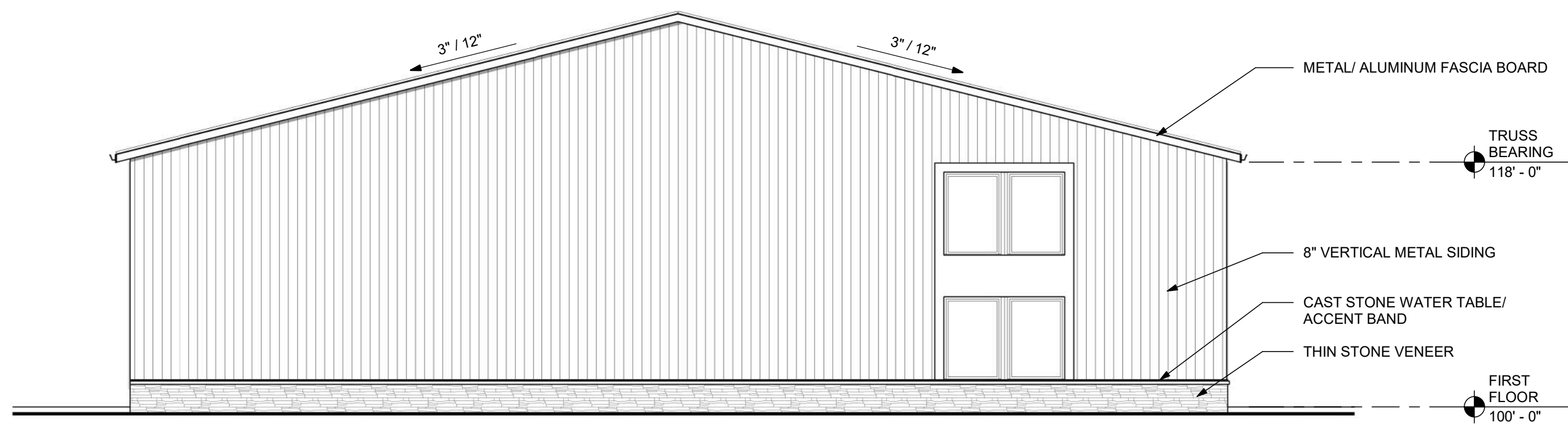
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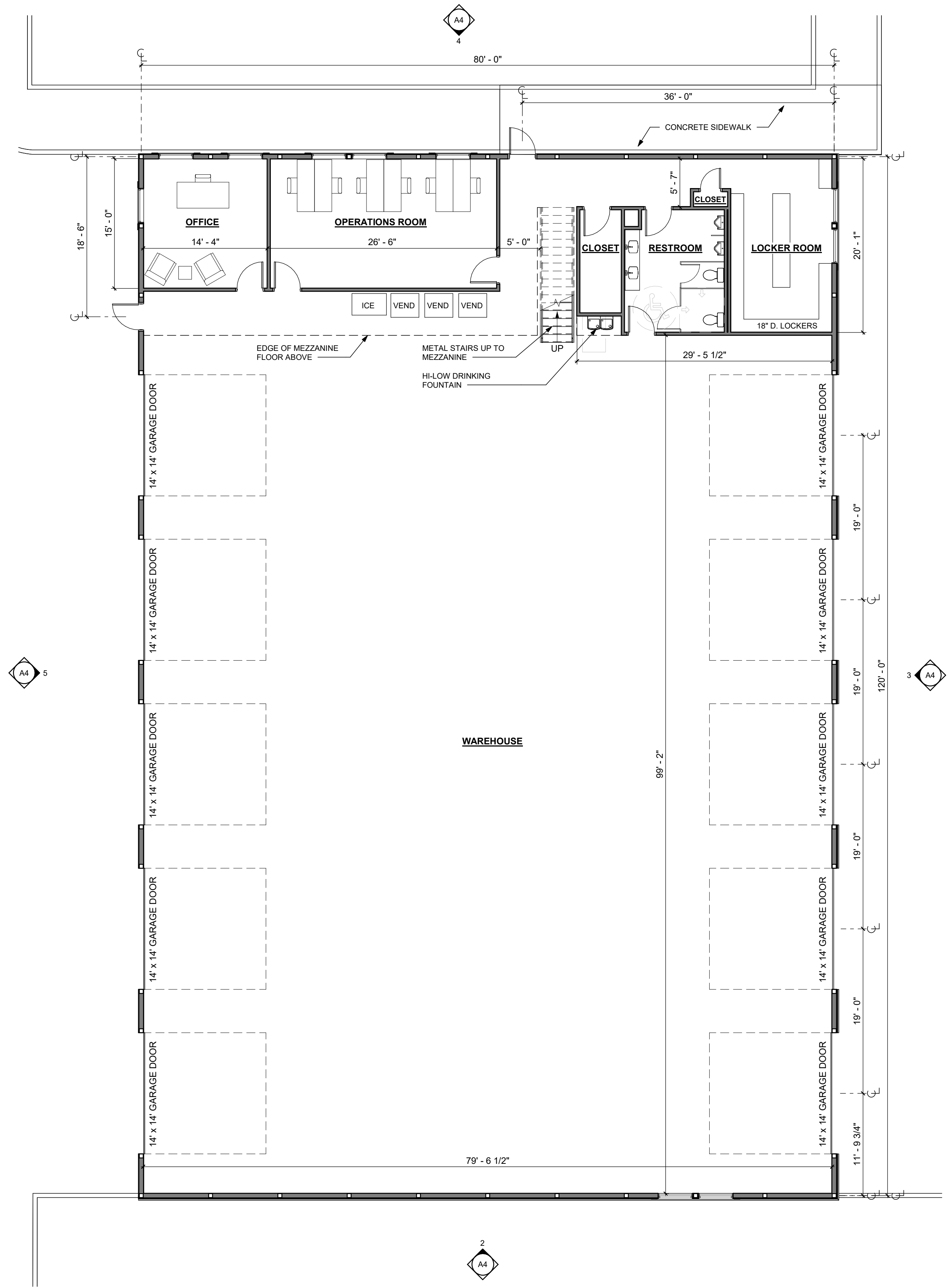
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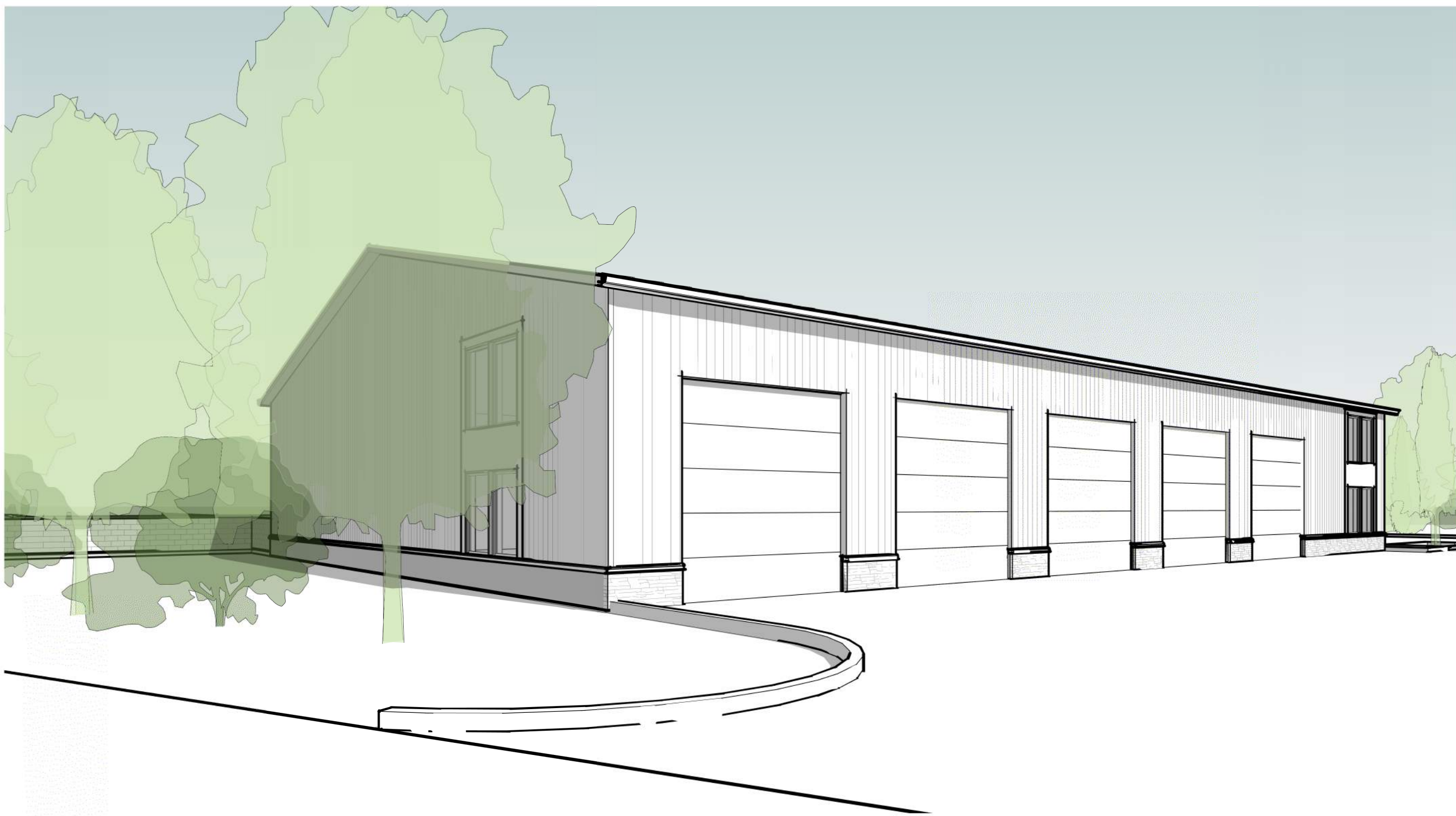
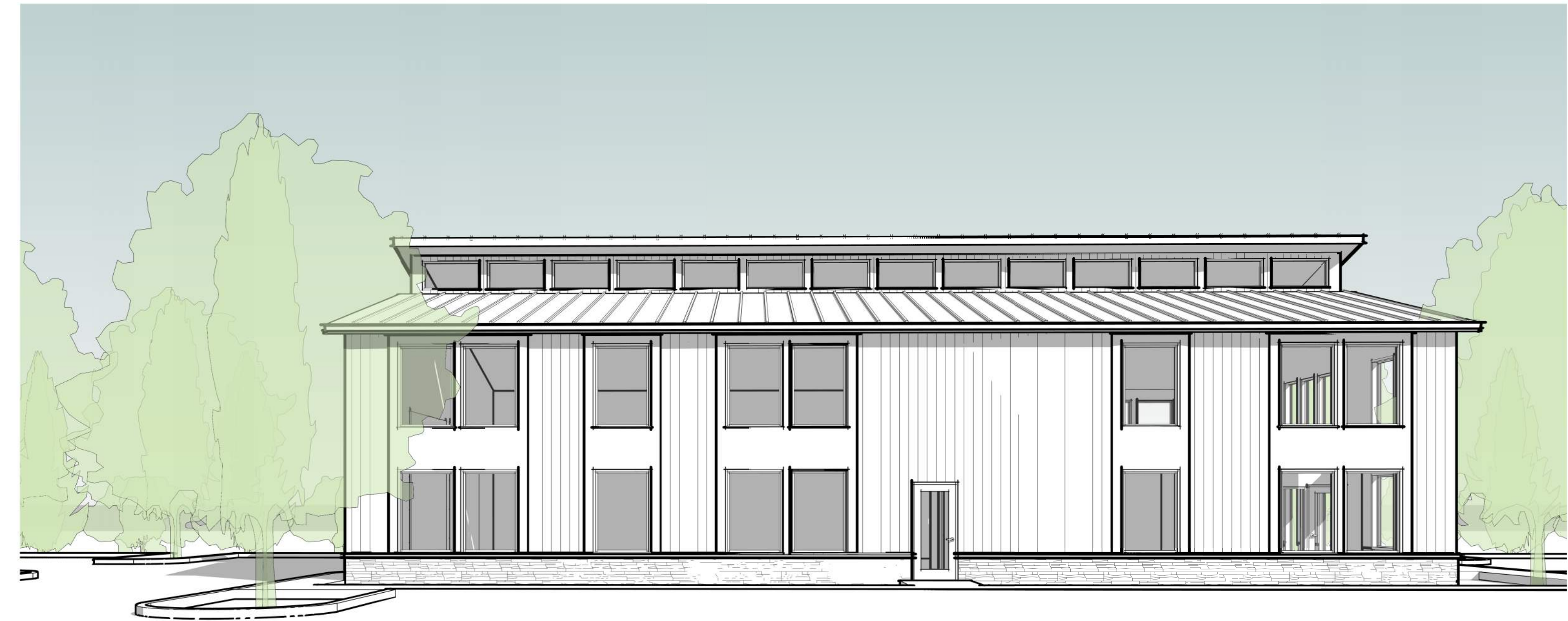
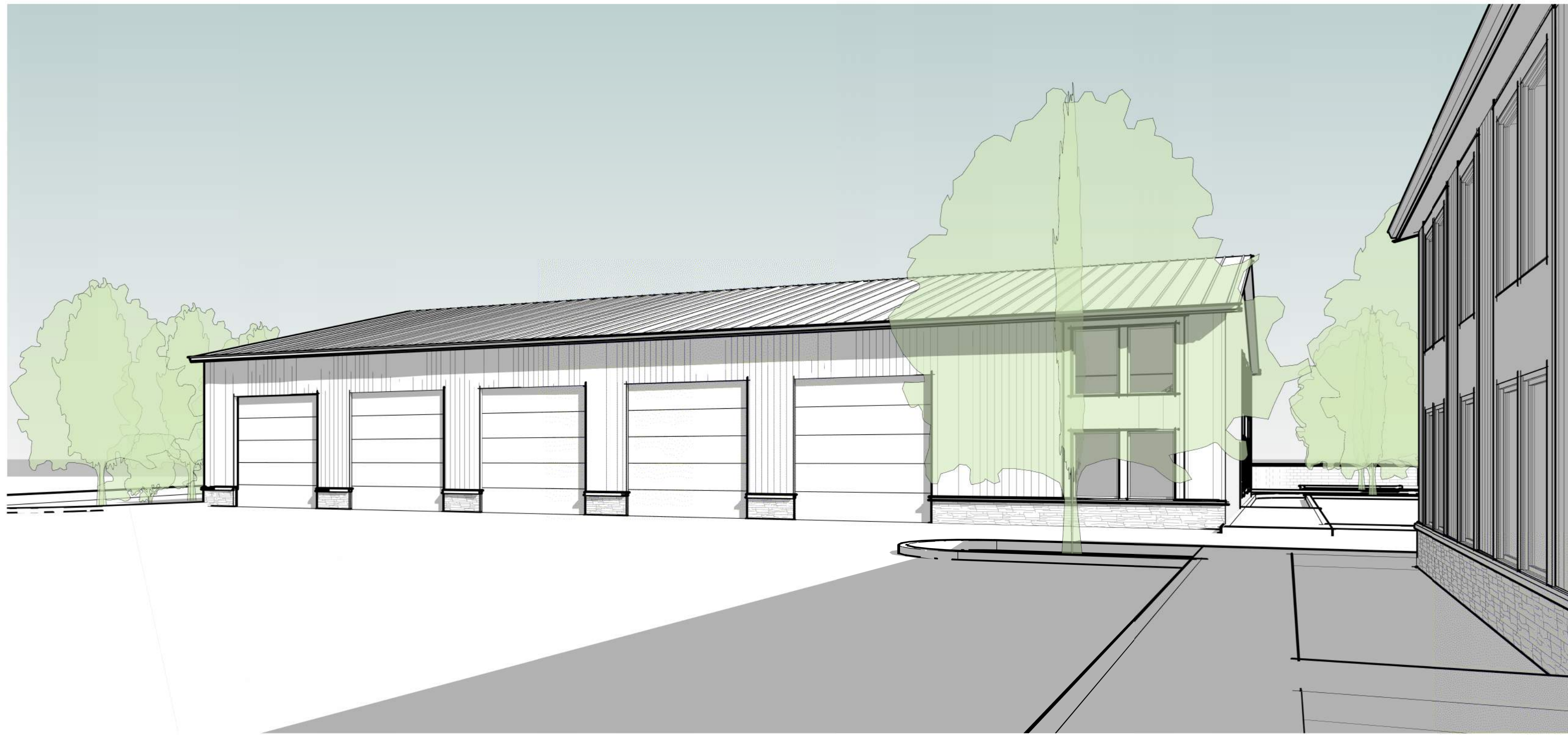
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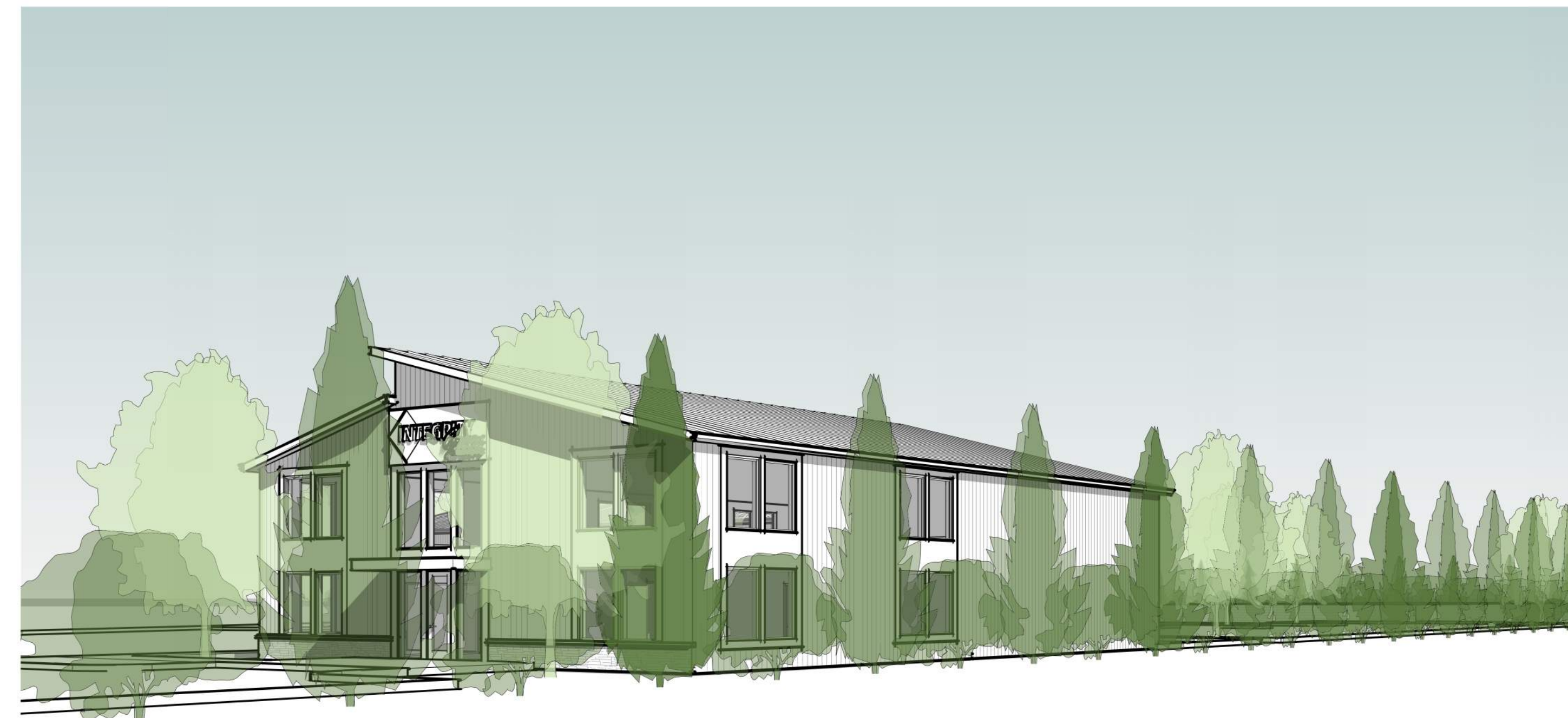
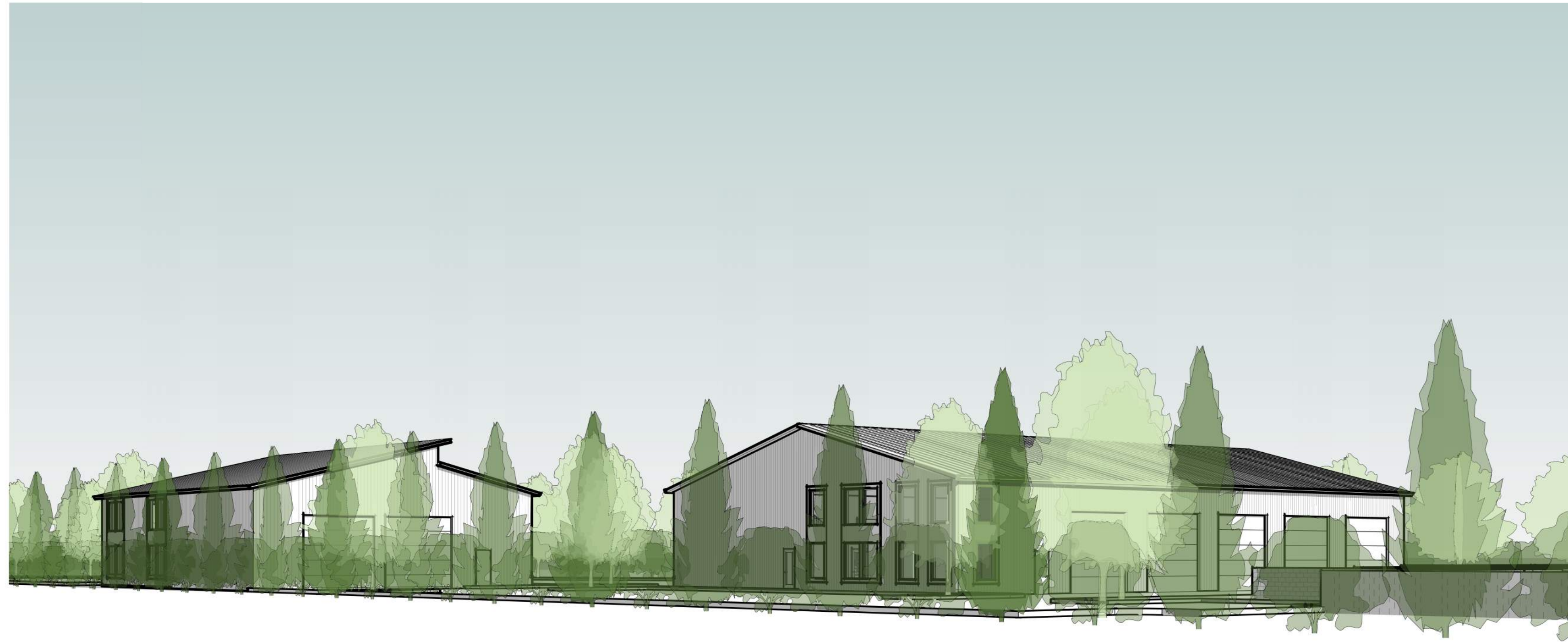


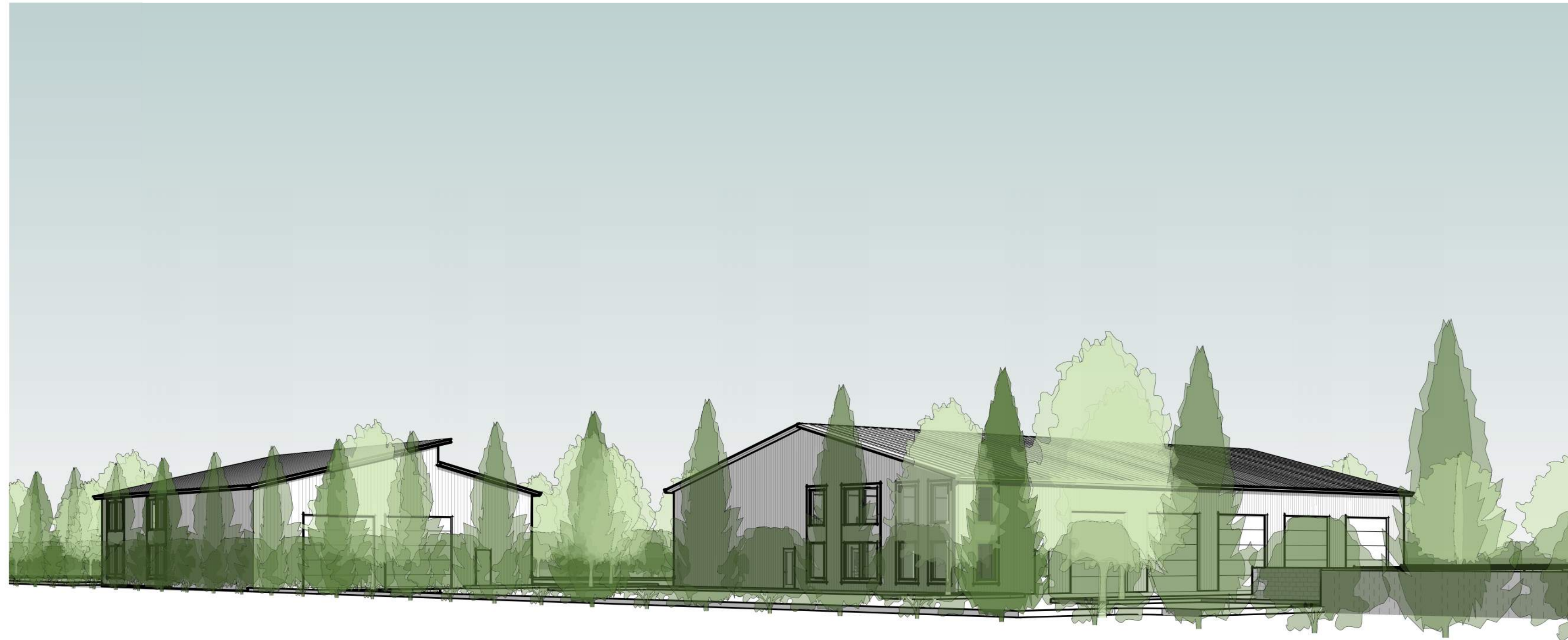
2 SOUTH ELEVATION  
A4 1/8" = 1'-0"



FLOOR PLAN  
1/8" = 1'-0"



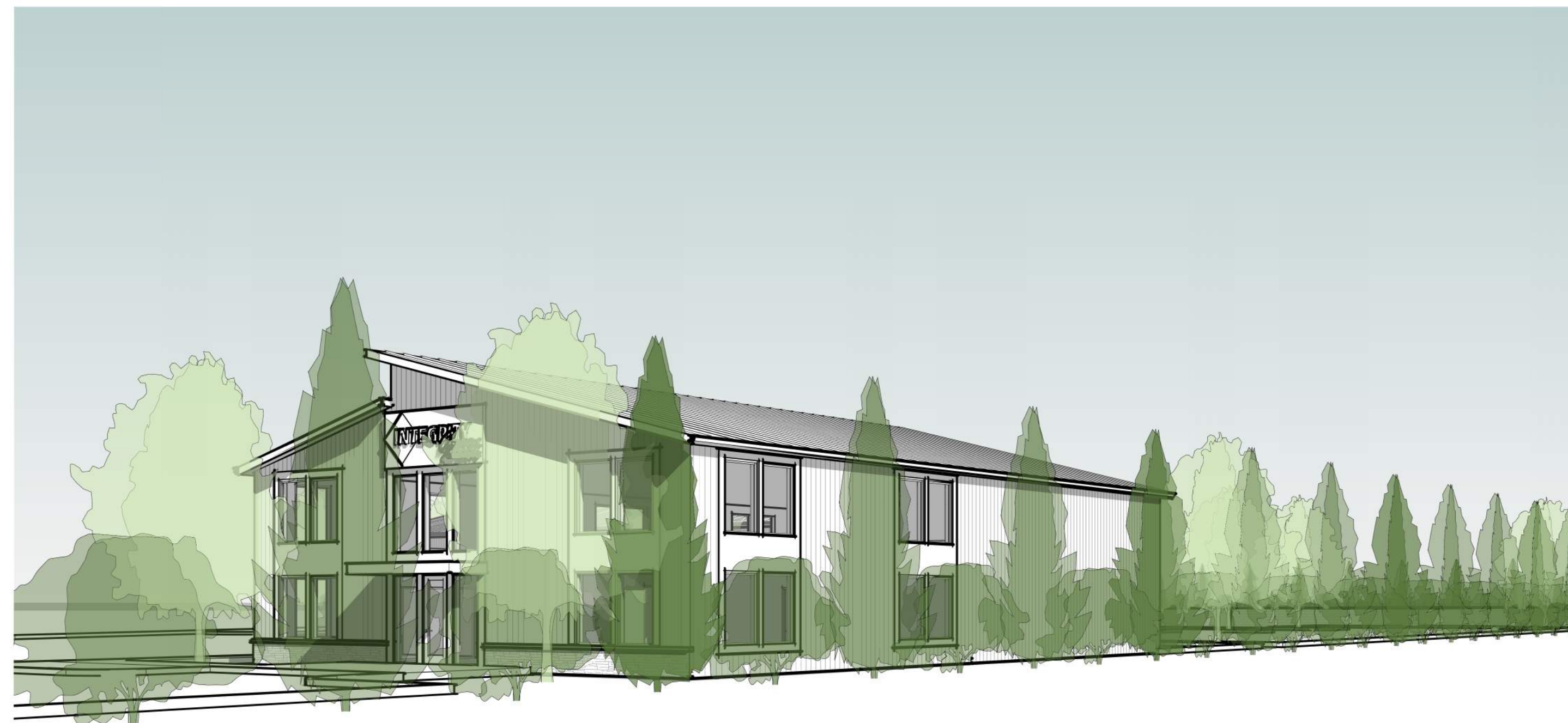




SOUTH EAST VIEW - FROM MAPLE DR



WESTERN VIEW - FROM FUHRMAN RD

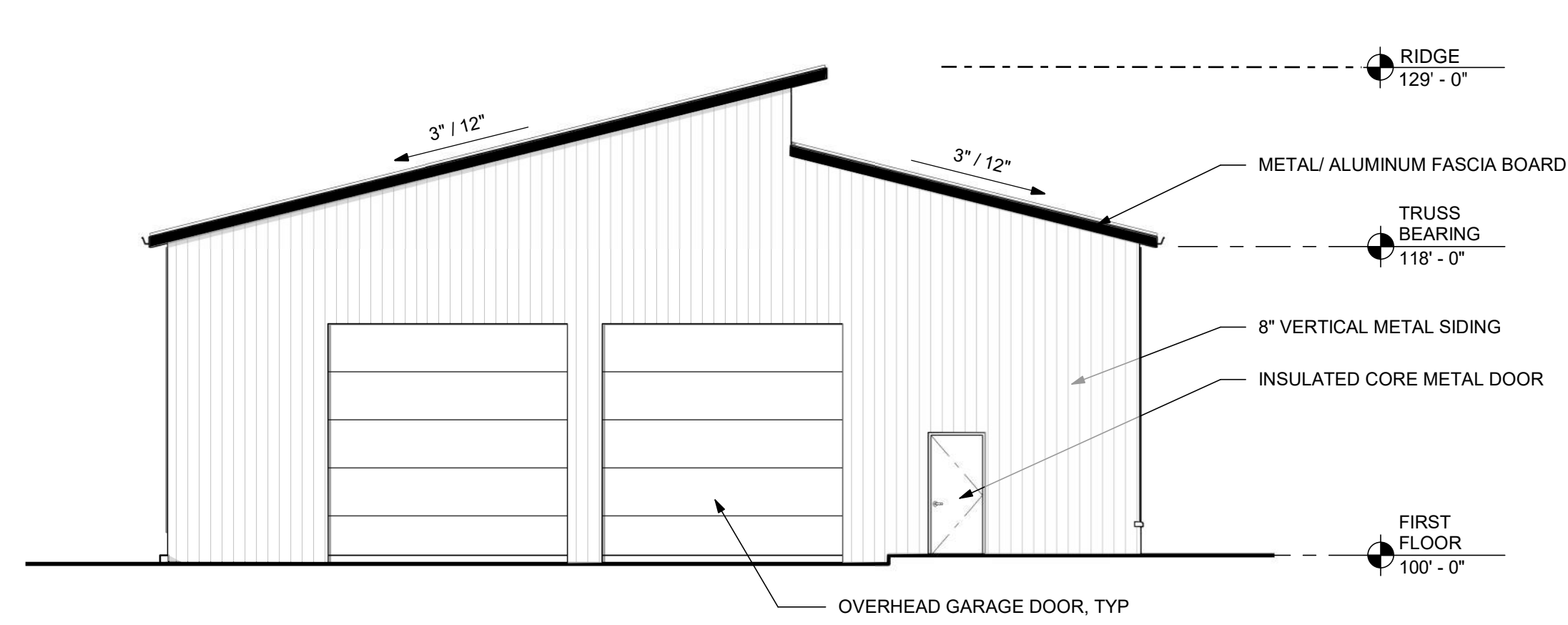


SOUTH WEST VIEW - FROM MAPLE DR

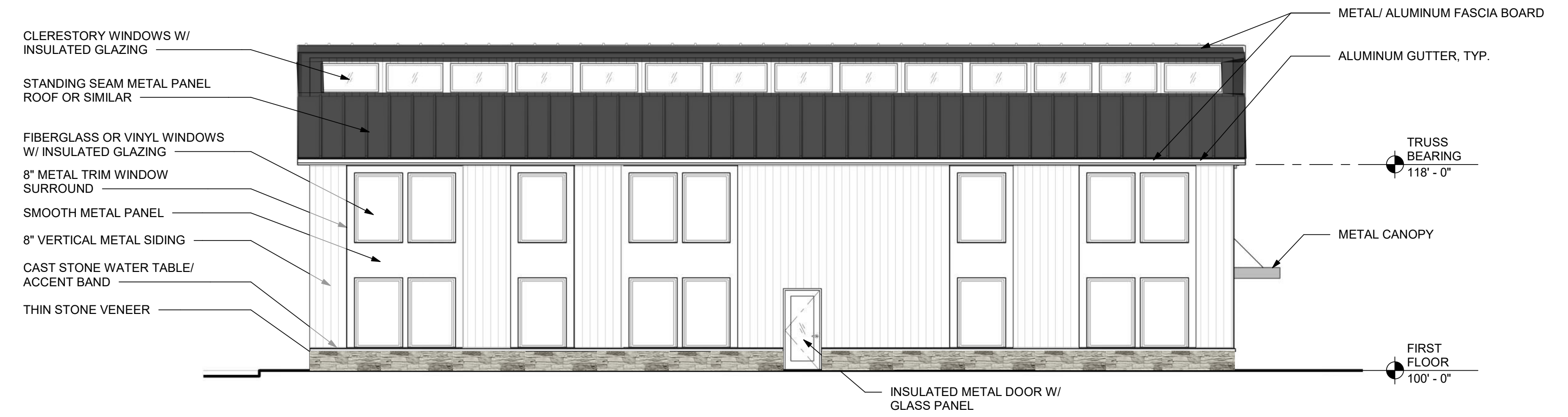


EASTERN VIEW - FROM FUHRMAN RD

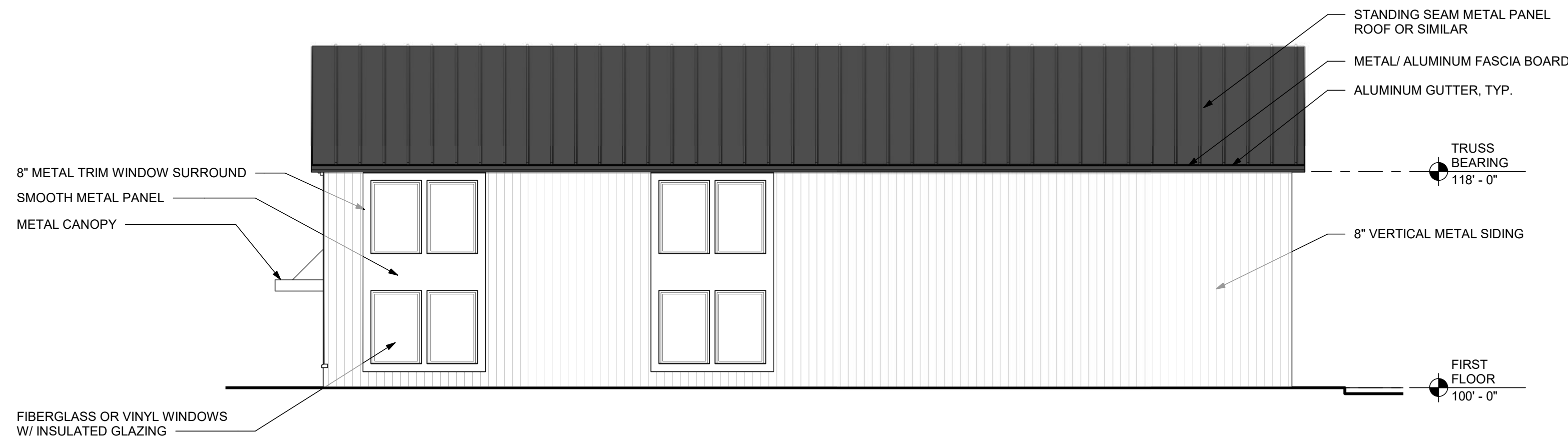
# PRELIMINARY COLOR SELECTIONS



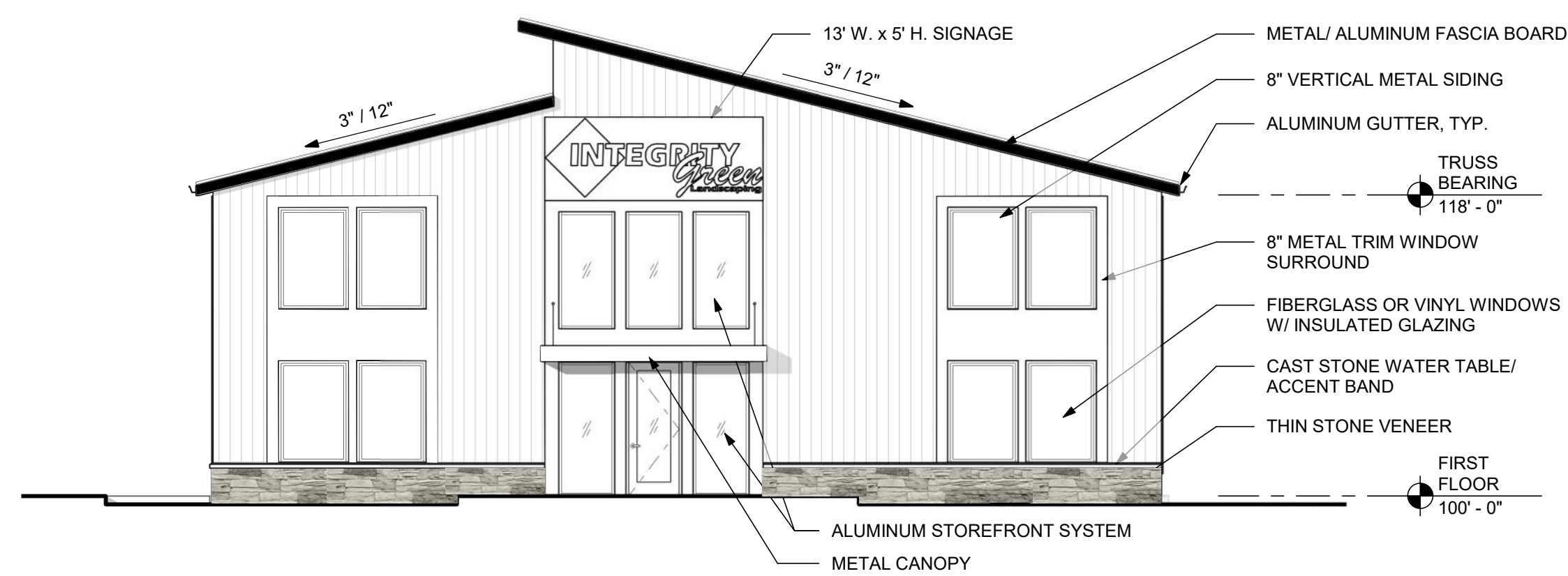
**4 WEST ELEVATION**  
1/8" = 1'-0"



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**3 NORTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"

### FINISH SELECTIONS

**Windows & Door Trim**

Bright White

**Siding Metal**

Bright White

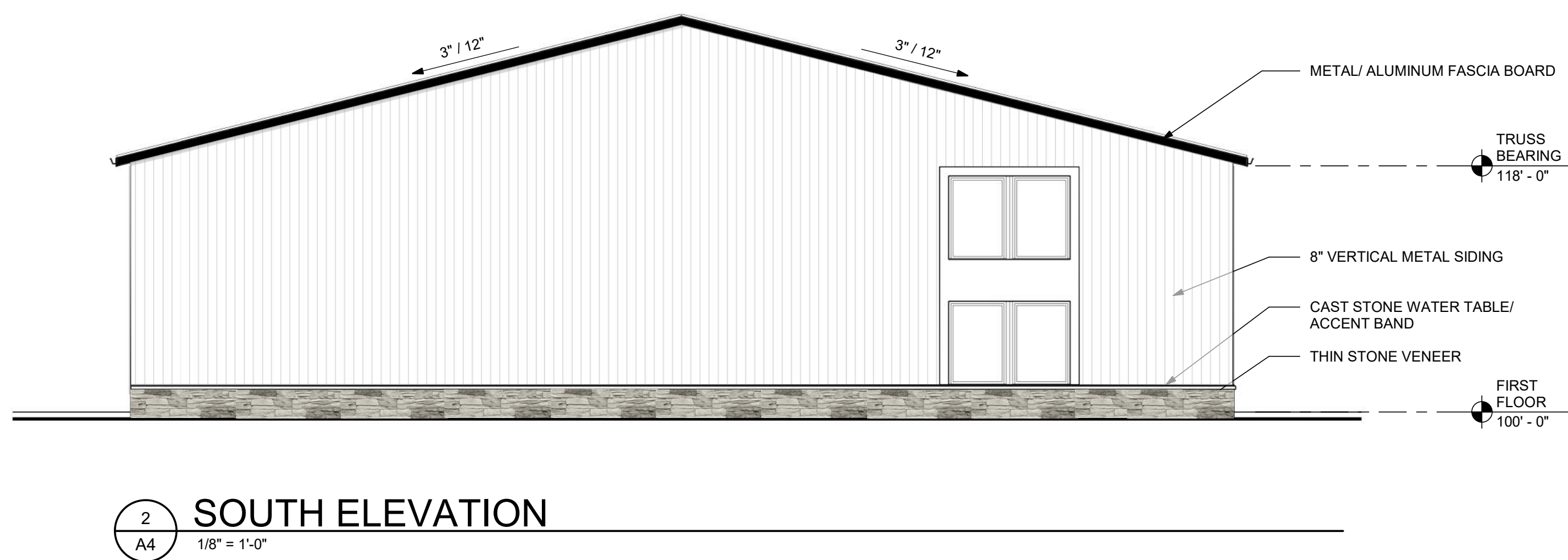
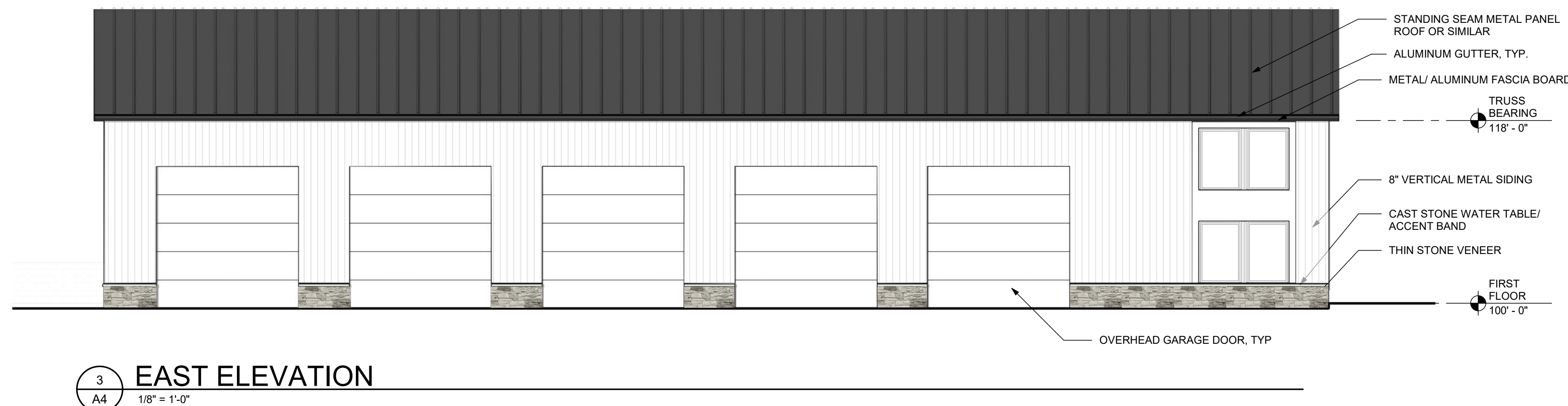
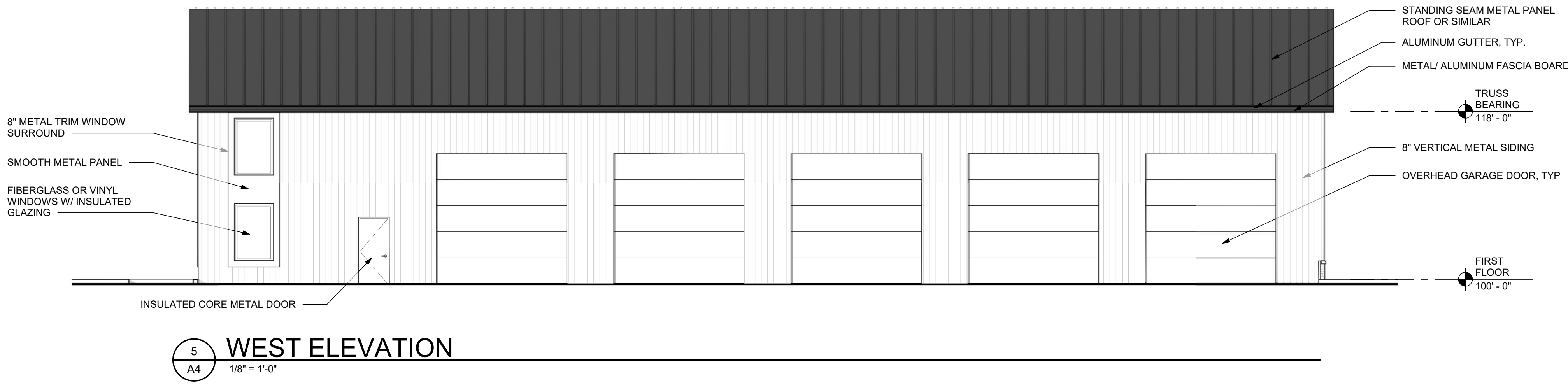
**Roof Metal**

Black

**Stone**

**Arctic Smoke**  
Soft White with Light Gray and Carbon Highlights

# PRELIMINARY COLOR SELECTIONS



**FINISH SELECTIONS**

**Windows & Door Trim**

Bright White

**Siding Metal**

Bright White

**Roof Metal**

Black

**Stone**

**Arctic Smoke**  
Soft White with Light Gray and Carbon Highlights

# COLOR / DESIGN INSPIRATION



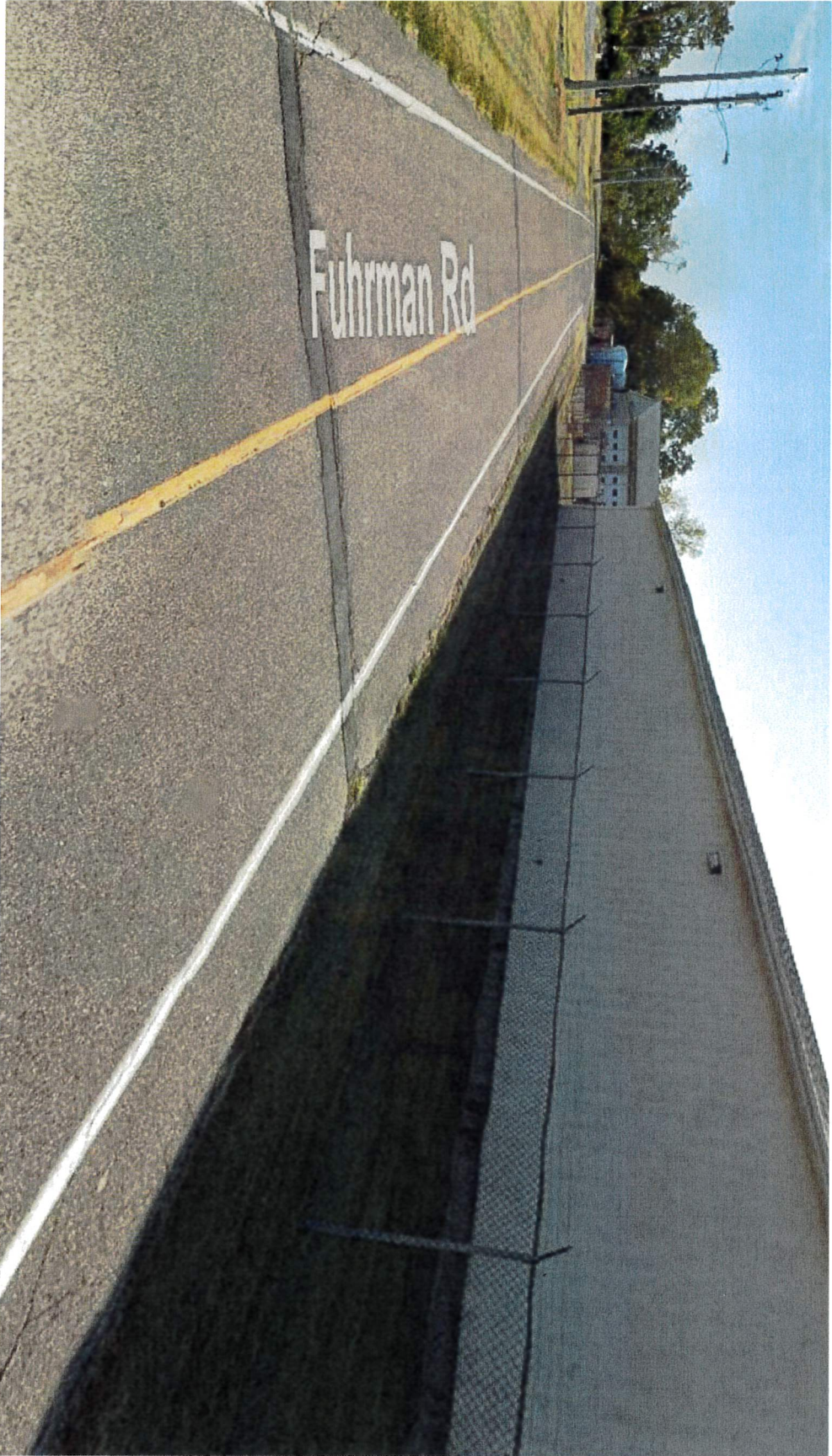
## PROPERTY FENCE

Integrity Green is submitting for a 6' tall black vinyl coated chain-link fence to be installed at the perimeter fencing as identified on the site plan.



CURRENT AMBERLY FENCE  
OFF FUHRMAN DR

6' Chainlink with barbwire security arms at top



## GATES

Integrity Green is submitting for a 6' tall black vinyl coated chain-link cantilever gate at 3 locations identified.



# CURRENT AMBERLY GATES OFF FUHRMAN DR

6' Chainlink Cantilever gate with barbwire security at top





# FENCE SPECIFICATIONS



# Spectra<sup>®</sup> Chain Link



# Spectra® Color Chain Link Recommendations

## FABRIC

Spectra® polyvinyl chloride extruded over zinc-coated steel core wire.

## FRAMEWORK - TYPE 2

Spectra® polyester resin, 3 mils minimum, over galvanized steel ASTM F 1043, Group 1C, with a minimum yield strength of 50,000 PSI. Protective coating per ASTM 1043, external coating Type B, zinc with organic overcoat, 0.9 ounces per square foot minimum zinc coating with chromate conversion coating and verifiable polymer film.

### Type 2 Residential

Fabric Gauge	9 gauge and 11 gauge finish
Fabric Mesh	1-1/4", 1-1/2", 1-3/4", and 2"
Fabric Height	3', 42", 4', 5', and 6'
Fabric Selvage	Knuckle - Knuckle (KK) for 5' and Under. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6'.

### Type 2 Commercial

Fabric Gauge	6 gauge, 8 gauge, and 9 gauge finish 6 gauge is not available for 3/8" mesh or 1/2" mesh
Fabric Mesh	3/8", 1/2", 5/8", 1", 1-1/4", 1-1/2", 1-3/4", and 2"
Fabric Height	3', 42", 4', 5', 6', 7', 8', 9', 10', and 12'
Fabric Selvage	Knuckle - Knuckle (KK) for 5' and under; for mesh sizes 1" and smaller. Knuckle - Knuckle (KK) or Knuckle - Twist (KT) for 6' and over.

Top Rail	1-3/8" O.D. Spectra® 17 Gauge or 16 Gauge
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1-5/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

Line Posts	1-5/8" O.D. Spectra® 17 Gauge or 16 Gauge
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1-7/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

2-3/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

Terminal Posts	1-7/8" O.D. Spectra® 16 Gauge
	2-3/8" O.D. Spectra® 16 Gauge

2-3/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

2-7/8" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

4" O.D. Spectra® Deluxe Quality (DQ) or Spectra® Full Weight Pipe

## Gates

Fabric	Same Gauge and Mesh as Chain Link Selected
Frame	Same as Top Rail Selected

## Fittings

Tension and Brace Bands	Polymer Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Pressed Steel
Caps, Eye Tops, Rail Ends	Polymer Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Pressed Steel or Aluminum
Sleeves	Polymer Coating, 3 Mils Minimum, Over Hot-Dipped Galvanized Steel
Tie Wires	Polymer Coating, 3 Mils Minimum, Over Zinc-Coated Steel Wire

## Slats - Privacy

Material Composition	Polyethylene Thermoplastic
Colors	Green, Black, Brown, Gray, Redwood, Blue, Desert Sand



Quality Products, Exceptional Service,  
Outstanding People

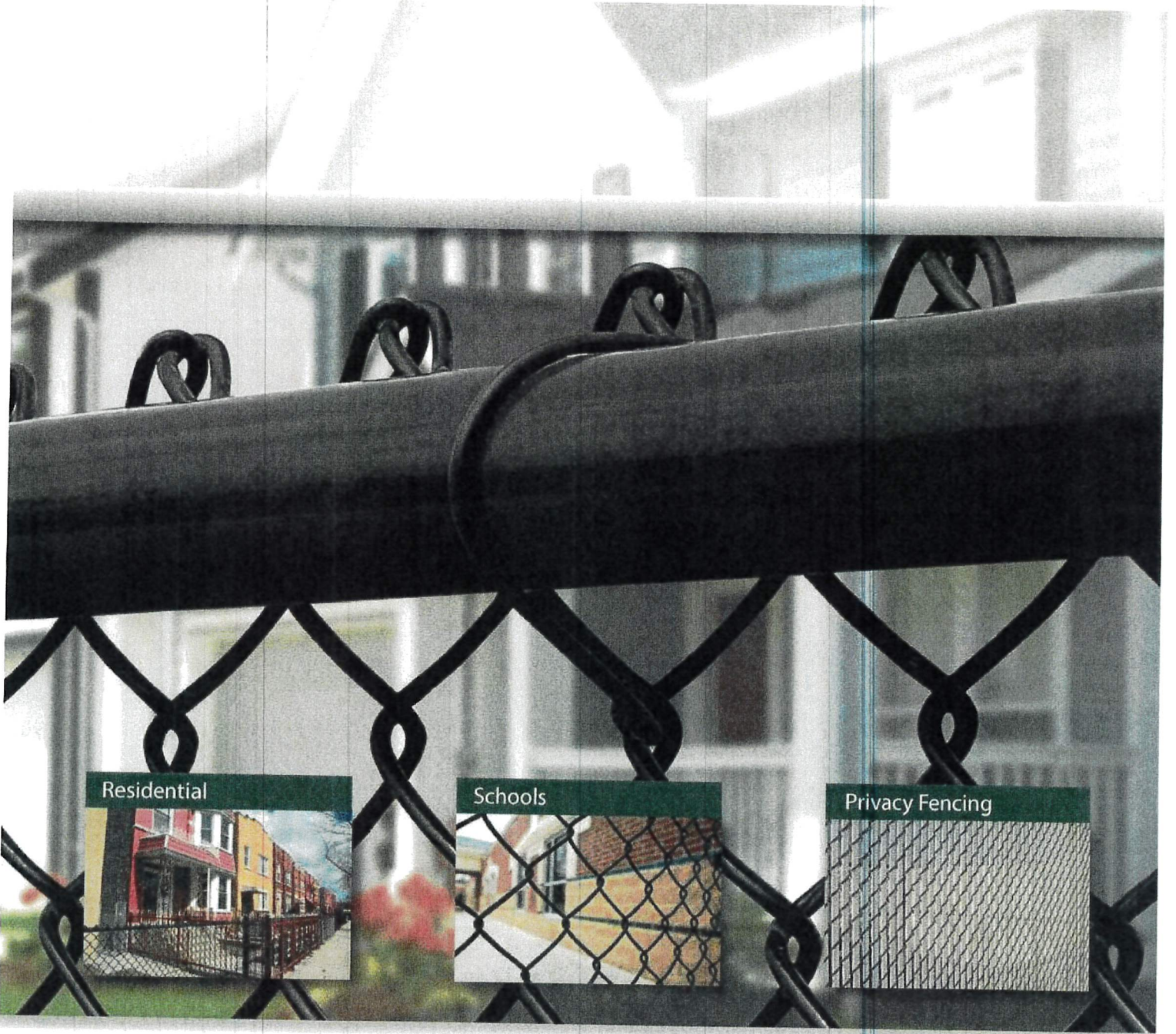
MasterHalco.com | 888-MH-Fence

Branch service centers are located throughout North America.

MH Digital ©9/18



Available from:



Residential



Schools



Privacy Fencing



**Available Colors**

Choose from 3 serene colors that blend in perfectly with the environment. Spectra® defines property lines, and will add value to any residential or commercial property.



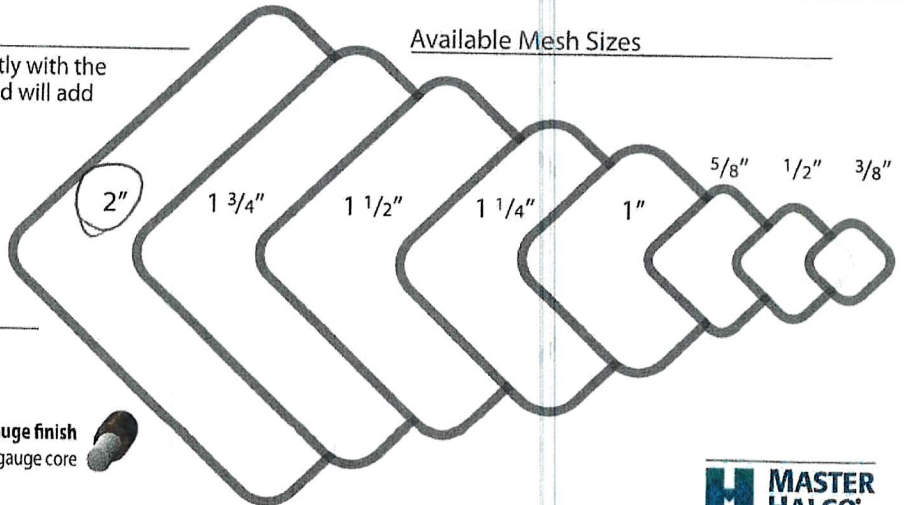
Midnight Black    Forest Green    Sierra Brown

**Available Wire Gauges (Finish and Core)**

Use the **finish gauge** number when ordering.



**Available Mesh Sizes**



# Spectra® Color Chain Link... made to perform

Spectra® is the latest generation of Master Halco's residential, commercial and industrial chain link fence systems. It provides the corrosion protection of zinc, with the durability and attractive appearance of a colored polyester framework and extruded PVC fabric, to ensure years of attractive and reliable performance that blends in beautifully with the environment.

Pets



Parks



Property Lines



## Our Spectra® Fencing System

Premium quality frame and fabric is guaranteed for 15 years.



15 Year Warranty

## Features and Benefits:

- Zinc-coated steel framework is thoroughly cleaned during the pre-treatment process, then color coated with a 3 mil minimum polyester layer for protection from corrosion.
- All galvanized wire has a 15 mil minimum extruded polyvinyl chloride coating for dual protection from corrosion and the elements.
- Fittings are made of galvanized steel with a 3 mil minimum of polymer layer for protection from corrosion.

# HOOP BARN EXAMPLES & PRODUCT DATA

Hoop Barn on Concrete Blocks



CURRENT AMBERLY HOOPBARN  
OFF FUHRMAN DR



Skip to main content

Live Help

SAME DAY SHIPPING on in stock items\*

PRODUCT DATA

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- [p](#)

Track Order Sign in / Register

# FarmTek

Fabric Buildings & Storage /

Freestanding Buildings /

ClearSpan HD Buildings /

ClearSpan Round Extra-Tall HD Buildings



## ClearSpan™ Round Extra-Tall HD Buildings

### Select configuration

Width * 45' ▼	Length * 60' ▼
Height * 21'8" ▼	Cover Color * White ▼

### ClearSpan Round Extra-Tall HD Building - 45'W x 60'L White



Quantity\*  
1

Add to Cart

Item Number: TT4506020FW

Availability: Usually available in 10 days (Manufactured Product)

ClearSpan™ HD Buildings are designed, manufactured and constructed with the highest structural integrity.

[Skip to main content](#)

- High clearance and wide-open space of these structures make them ideal for virtually any application.
- 12.5 oz., 24 mil rip-stop polyethylene covers are UV resistant and available in your choice of four colors.
- Durable frames are manufactured from our American-made, triple-galvanized structural steel, which is resistant to corrosive environments and long lasting.
- 45'W buildings are 21'8-3/16"H.
- Truss spacing is 20' on center.
- Available in freestanding round style.
- Industry-leading 20 year warranty on cover and 50 year warranty on frame.
- Custom covers, end panels and accessories are available, all sold separately.



#### Product Specifications ^


**Cover Color:** White

**Length:** 60'L

**Width:** 45'W

**Height:** 21'8"H

**Weight:** 6410

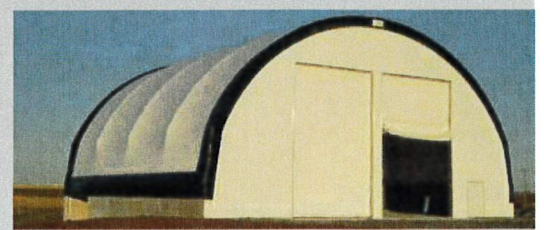
California Residents:  Warning: Cancer and Reproductive Toxicity - P65Warnings.ca.gov

#### RECOMMENDED ACCESSORIES

---



# GOVERNMENT



## ClearSpan meets the wide-ranging building needs of any government or municipality

ClearSpan understands the needs of building government facilities and has worked for decades to design custom and turnkey municipal solutions. Whether it's a storage facility, sand and salt structure, recreation building or any other type of structure, ClearSpan can meet even the most specific municipal needs.

### The ClearSpan Government and Municipality Advantage

**Fabric and metal cladding** - Choose the option that is right for your operation.

**Versatile foundation options** - Helical anchors, pony walls, wooden posts, concrete pads, shipping containers and more.

**Energy-efficient designs** - Utilizing natural lighting and ventilation, ClearSpan structures can provide monthly energy savings.

**Industry-leading warranties** - Up to 50-year frame warranties and various cladding warranties.

**Custom designs** - Customize your structure with all the necessary features and accessories, like HVAC equipment, windows, lighting and much more.

**In-house services** - Streamline your next building project with financing, engineering and installation.

## Bulk Material Storage Bin Examples



# Metal Siding Facade Percentages

## Workshop/Office:

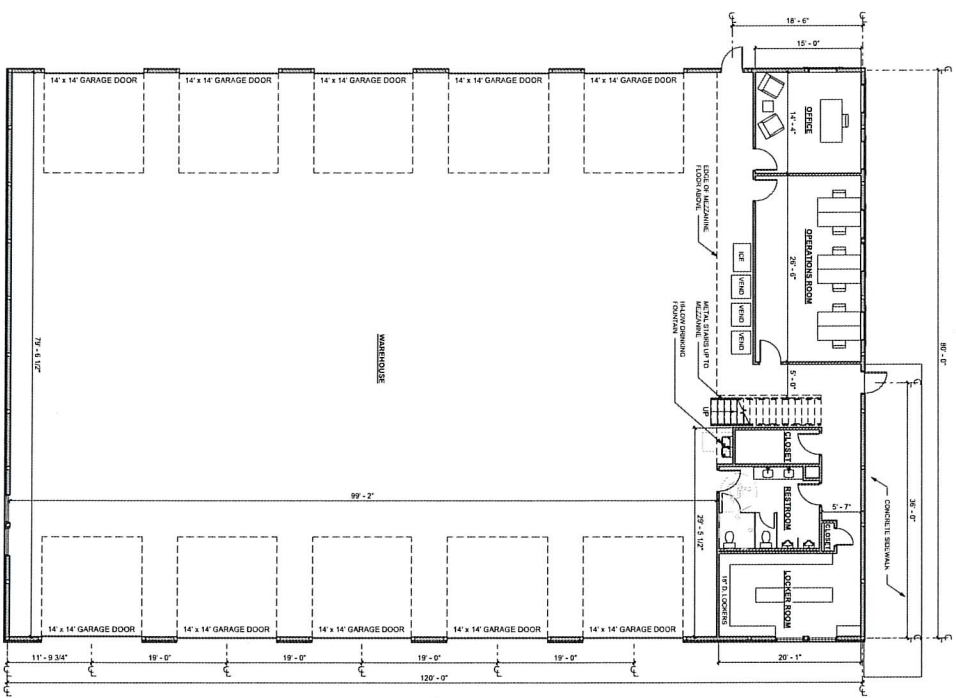
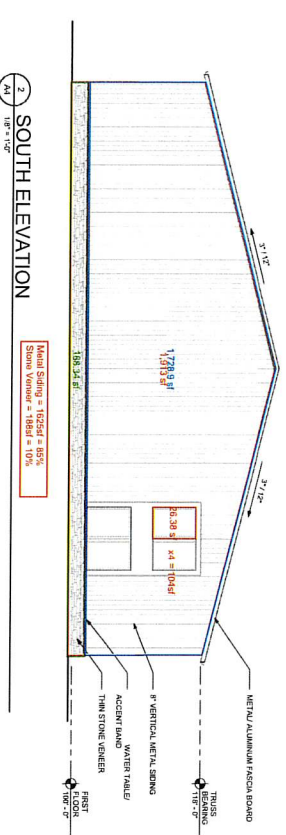
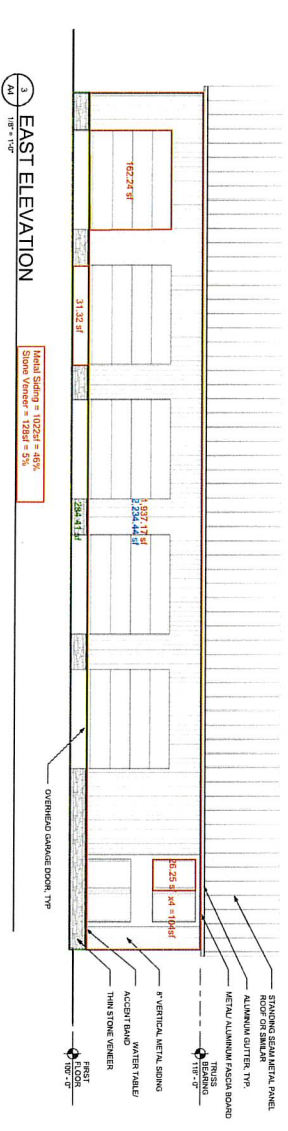
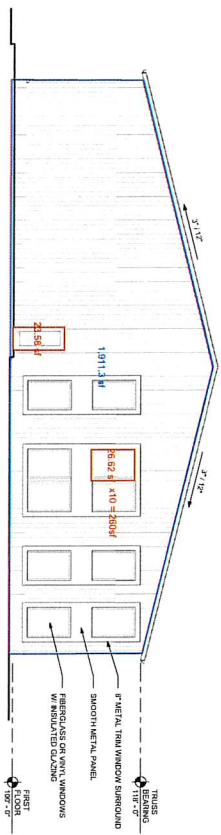
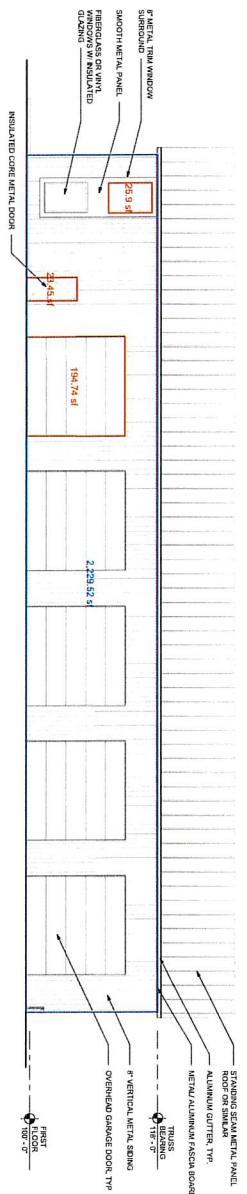
- North Elevation:
  - Metal Siding: 85.5%
  - Stone Veneer: 0%
- East Elevation
  - Metal Siding: 63%
  - Stone Veneer: 10%
- South Elevation
  - Metal Siding: 61%
  - Stone Veneer: 10%
- West Elevation
  - Metal Siding: 68%
  - Stone Veneer: 0%

## Warehouse:

- North Elevation:
  - Metal Siding: 85%
  - Stone Veneer: 0%
- East Elevation
  - Metal Siding: 46%
  - Stone Veneer: 5%
- South Elevation
  - Metal Siding: 85%
  - Stone Veneer: 10%
- West Elevation
  - Metal Siding: 47%
  - Stone Veneer: 0%



# METAL SIDING CALCULATION



FLOOR PLAN  
1/8" = 1'-0"

JAKE HENDERSON  
Architect  
E: JAKEHENDERSON@THTGMAIL.COM  
P: 770.799.2979

## INTEGRITY GREEN LANDSCAPING COMPLEX

8605 RIDGE ROAD, CINCINNATI OH 45237  
WAREHOUSE - CONCEPTUAL BUILDING PLANS

DESIGN DOCUMENT ONLY  
NOT FOR CONSTRUCTION  
06.03.2024

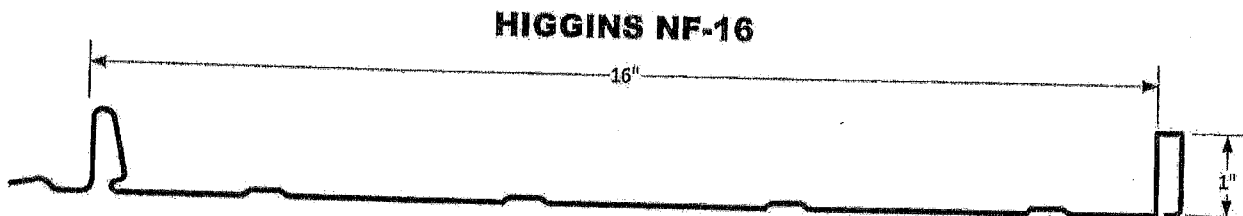


## STEEL ROOFING

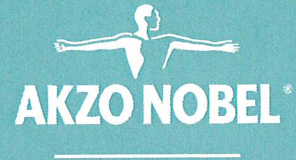
HIGGINS CONSTRUCTION & SUPPLY CO.  
3801 U. S. 50 HILLSBORO, OHIO 45133  
1-800-782-4239 937-364-2331 FAX 937-364-2333  
www.higginsroofing.com

### STEEL SPECIFICATIONS FOR NF-16

AMERICAN MADE STEEL FROM STEEL DYNAMICS  
ASTM A 792 SS GRADE 50  
AZ-50 GALVALUME  
PAINT SYSTEM IS AKZO NOBEL  
CERAM-A-STAR 1050  
.019 26 GA



# CERAM-A-STAR® 1050



THE INDUSTRY'S BEST AND  
STRONGEST SILICONE-MODIFIED  
POLYESTER COIL COATING SYSTEM.

## THE CHALLENGE

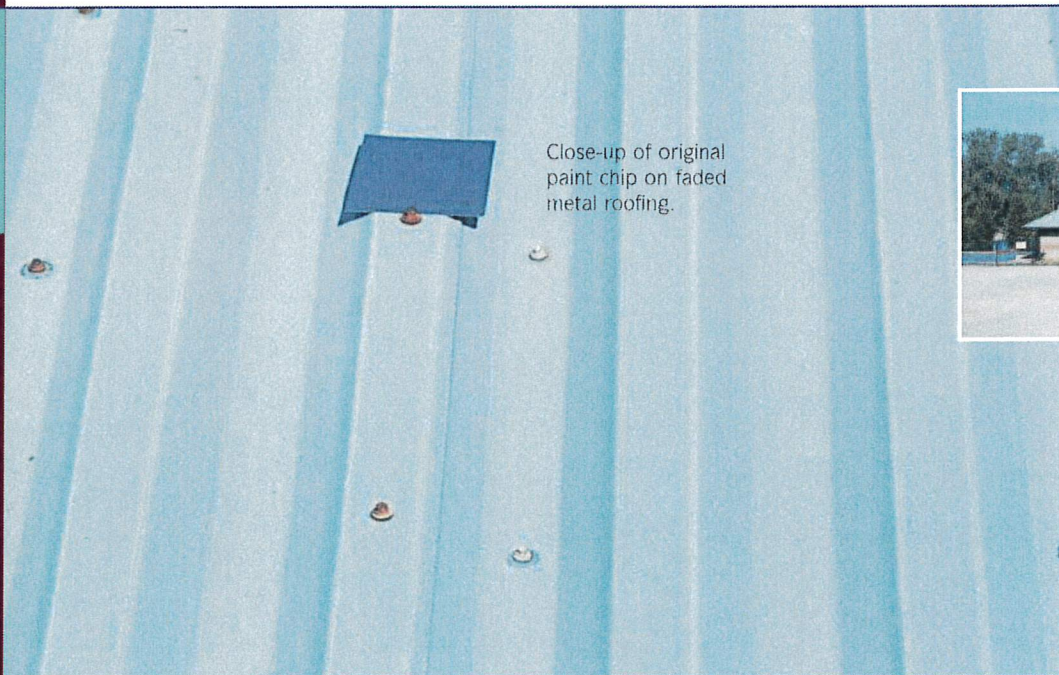
Achieving outstanding long-term performance in metal building components is a big challenge for coatings. Maintaining their color and integrity over decades of harsh weather conditions and natural degradation is a tough task.

While the industry was satisfied with the performance of silicone-modified polyesters, Akzo Nobel was not. So we went to work.

We spent more than 10 years in the laboratory and in the field researching, developing and testing the next generation of silicone-modified polyester (SMP). It didn't happen overnight, but it did happen.

And it was well worth the wait.

## FACING THE CHALLENGE



Close-up of original paint chip on faded metal roofing.



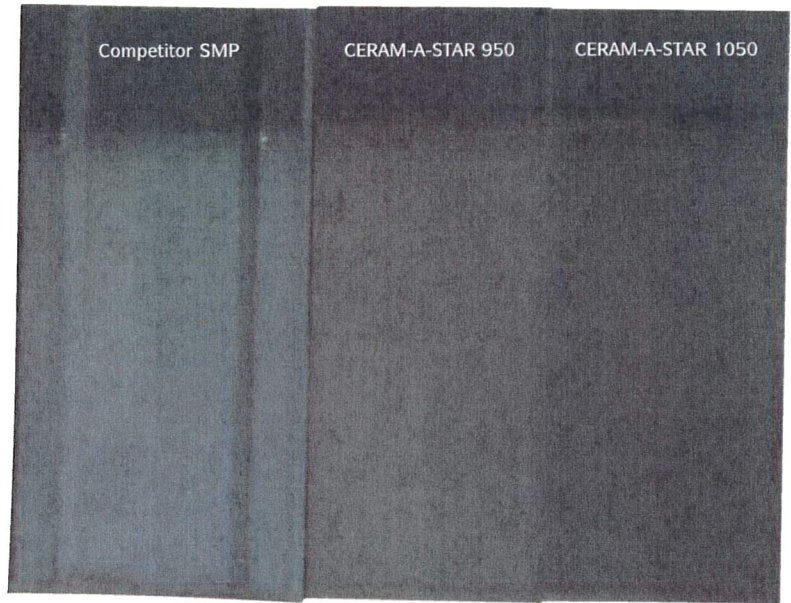
Competitive SMP coating on building after ten years in Ohio weather.

## THE NEW STANDARD

Akzo Nobel Coatings is pleased to introduce CERAM-A-STAR® 1050, the new standard in performance for SMP systems. CERAM-A-STAR 1050 is a silicone-protected polyester coil coating system designed exclusively for the metal construction industry.

Built on the proven strength of CERAM-A-STAR® 950, Akzo Nobel's CERAM-A-STAR 1050 is the industry's best and strongest SMP coil coating system, offering superior color stability, chalk resistance, fade resistance and gloss retention.

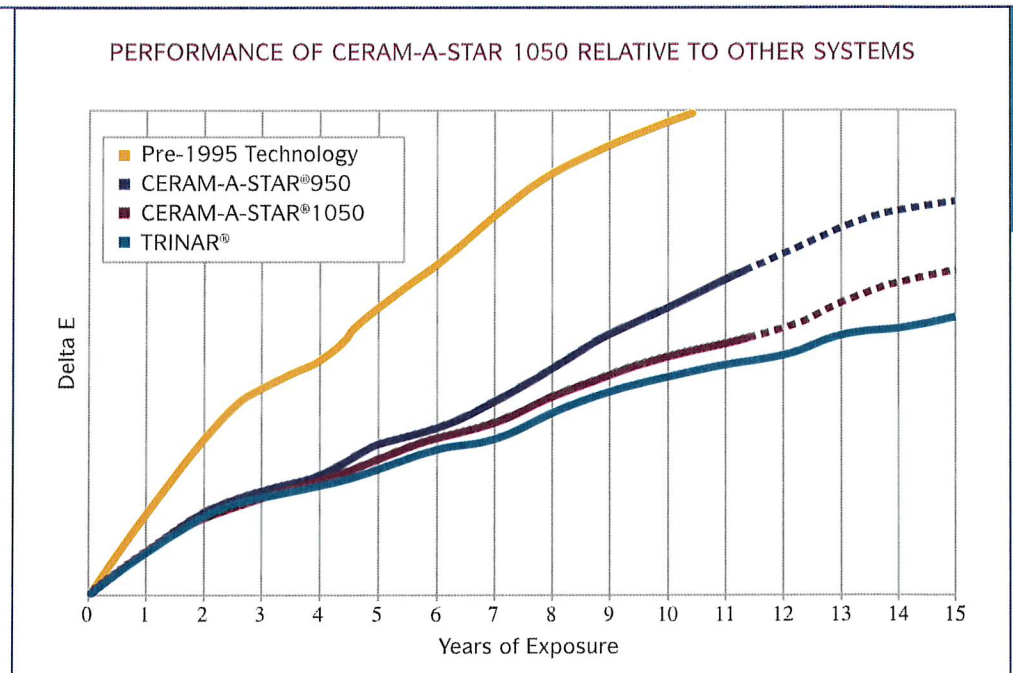
How did we do it? Two words: unique chemistry.

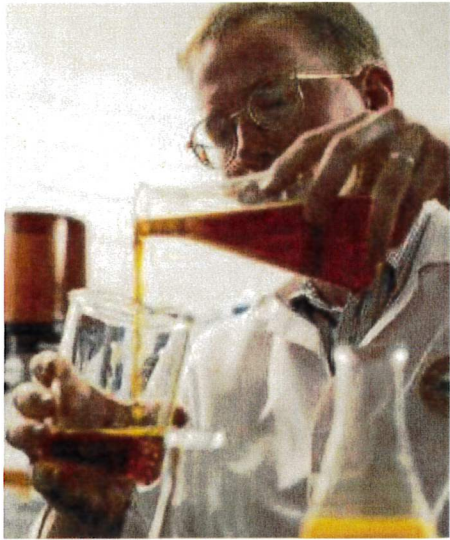


Coatings tested in real-life conditions in a comprehensive weathering program in South Florida.

## SETTING A NEW STANDARD IN PERFORMANCE

Proven in 45° South Florida exposure, CERAM-A-STAR 1050 delivers a much-improved level of color retention.





### UNIQUE CHEMISTRY

CERAM-A-STAR 1050's proprietary new resin formulation provides the backbone for this revolutionary SMP system. It's combined with ceramic and inorganic pigments and other enhancements to our award-winning CERAM-A-STAR 950 system to create the most resistant SMP finish available.

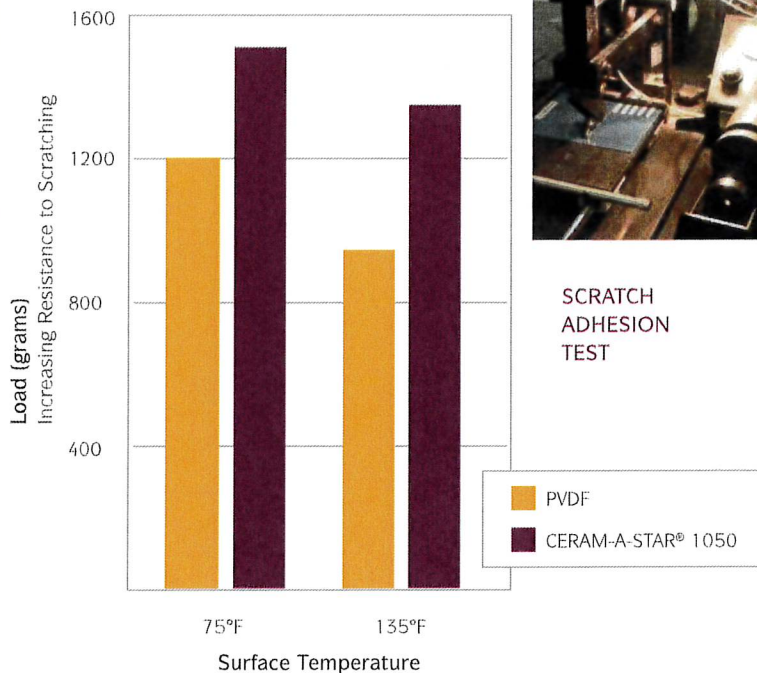
The two-coat system, using our OPTIMA high-performance primer, provides exceptional durability and offers superior resistance to moisture and UV, as well as excellent flexibility and abrasion resistance. And, the unique and highly-durable topcoat provides the best color stability and gloss retention of any SMP product.

In fact, the color stability of CERAM-A-STAR 1050 rivals that of Kynar® 500 and Hylar® 5000 coatings, while offering excellent resistance to dirt pickup and atmospheric stain. Its scratch-and abrasion-resistance are big bonuses during transit, handling and installation as well – particularly in hot weather. These qualities in particular make CERAM-A-STAR 1050 an excellent alternative to PVDF coatings in certain applications where hot hardness and handling issues are a concern.

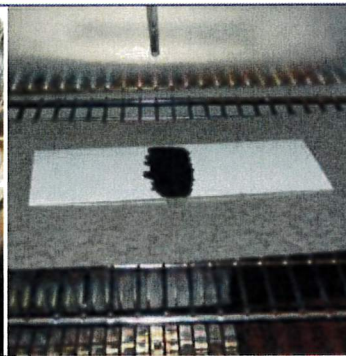
CERAM-A-STAR 1050 comes in a wide range of colors, including our solar-reflective COOL CHEMISTRY® SERIES. All remain stable and true well beyond what you've come to expect from an SMP.

## 10 YEARS IN THE MAKING

SCRATCH ADHESION TEST RESULTS



SCRATCH ADHESION TEST



RESISTANCE TO DIRT AND STAIN TESTING

A 10% carbon black pigment dispersion is applied to CERAM-A-STAR 1050 panel and polyester coating. Panel is then placed in oven at 150° for 60 minutes.



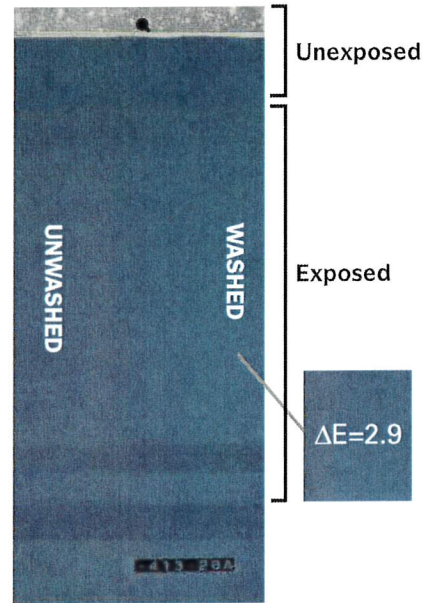
After cooling, panel is rubbed and rinsed under cool water. CERAM-A-STAR 1050 shows better resistance to atmosphere stain.

## TESTED TOUGH

We don't believe in shortcuts. That's why we spent 10 years testing CERAM-A-STAR 1050 in the laboratory and on the outdoor test fence to ensure its quality and durability before bringing it to the market. You just can't get real-world results without real-world testing.

In a decade of outdoor tests at our South Florida weathering farm, CERAM-A-STAR 1050 showed its mettle. Our proprietary new silicone polyester resin formulation withstood the harsh conditions and sweltering sun.

That's why we know it will stand the test of time in the buildings you build.



CERAM-A-STAR 1050 panel exposed for 11 years in South Florida shows color fade less than 3 Hunter units

## STANDING THE TEST OF TIME



### REAL-WORLD TESTING

Real-world testing in South Florida at 45°. One year of testing is equivalent to two years on a roof and three years on a wall north of Jacksonville, Florida.

### REAL-WORLD STAIN TESTING

Both parts of this building started out the same white color. Akzo Nobel's original white is on the left; stained competitor's white is on the right.

### CHALK RESISTANCE

CERAM-A-STAR 1050 is proven to be the best chalk resistant technology.

## THE PRODUCT OF CHOICE

CERAM-A-STAR 1050 performs better. Period. That's why it's the product of choice for many commercial, residential and pre-engineered metal building components. If you're looking for durability, color stability, chalk resistance, gloss retention and scratch resistance in your metal building materials, it should be your choice, too.

We're so sure CERAM-A-STAR 1050 is the best coil coating system in the business that we've given it the best SMP warranty in the business as well.

That means you'll have plenty of time to see what we mean when we say CERAM-A-STAR 1050 is the brightest star in the SMP galaxy.



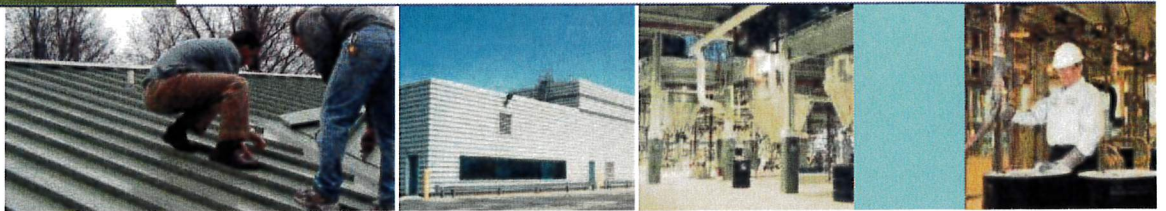
*CERAM-A-STAR® 1050 PERFORMS BETTER, PERIOD.*



## ABOUT AKZO NOBEL

Akzo Nobel Coatings Inc. is part of the Coatings Division of Akzo Nobel NV, a Global Fortune 500 company and one of the world's leading diversified chemical companies. Based in the Netherlands, the Company employs more than 60,000 people worldwide, has operating subsidiaries in more than 80 countries and offers a wide and diverse product portfolio in the fields of chemicals and coatings.

Akzo Nobel's Coatings Division is the largest coatings manufacturer in the world and one of North America's leading manufacturers of industrial finishes. Headquartered in Columbus, Ohio, the division manufactures and markets coil and extrusion coatings in North and South America and Asia. Akzo Nobel Coatings is the market leader in the development and supply of coil coating, the most effective method in use to ensure the consistent, high-quality protection and decoration of metal substrates.



### COOL CHEMISTRY® Series

Improvements in Total Solar Reflectance may be realized by using Akzo Nobel's COOL CHEMISTRY® Series ceramic infrared reflective pigments. These special pigments are designed to reflect infrared energy while still absorbing visible light energy, thus appearing as the same color yet staying much cooler. When COOL CHEMISTRY® Series paints are used on metal roofing, the result is a sustainable building material that can lower air conditioning costs, reduce peak energy demand, and help to mitigate urban heat island effects.

### TRINAR® Coatings (also offered in COOL CHEMISTRY® Series)

Akzo Nobel's TRINAR® finishes are made with unique polyvinylidene fluoride resin, where a minimum of 70% of the resin is Kynar® 500 or Hylar 5000® PVDF. This unique chemistry is combined with our own proprietary acrylic resin, as well as ceramic and select inorganic pigmentation. The result is TRINAR's proven ability to resist ultraviolet radiation in sunlight for maximum protection against general weathering effects, chalking and fading.

### CERAM-A-STAR® 950 Coatings (also offered in COOL CHEMISTRY™ Series)

This coating system establishes a new level of high performance for silicone protected polyester coatings utilized by the metal construction industry. CERAM-A-STAR® 950 colors are created from field-proven combinations of proprietary copolymer resin technology and long-lasting, colorfast ceramic and select inorganic pigments. The result is a long-lasting finish that resists degradation from ultraviolet radiation in sunlight.

### POLYDURE® 1000 Coatings

POLYDURE® 1000 coatings are high-quality polyester finishes usually used in whites as a complement to CERAM-A-STAR 950 and CERAM-A-STAR 1050 finishes. POLYDURE 1000 coatings feature a tough, hard film with good flexibility, and good chalk and fade resistance, as well as exceptional resistance to dirt pick-up. They blend proprietary Akzo Nobel polyesters with time and exposure proven pigments to achieve enhanced durability and performance.

### REL-SHIELD® IV Coatings

Akzo Nobel's REL-SHIELD® IV PVC (Plastisol) coating system provides thick film protection (4-10 mils) on metal building components and siding. It is extremely flexible and offers excellent resistance to most chemicals. Choices of surface appearance include smooth, ripple, and striated.

Marketing Manager  
Akzo Nobel Coatings Inc.  
1313 Windsor Avenue  
P.O. Box 489  
Columbus, Ohio 43216-0489



For more information about CERAM-A-STAR® 1050 coil applications call  
**614 294 3361** or visit [www.akzonobel-ccna.com](http://www.akzonobel-ccna.com)

Member of: Cool Roof Rating Council (Charter Member) • Energy Star Partners  
• National Coil Coating Association • Construction Specifications Institute •  
Metal Building Manufacturers Association (Associate) • Metal Construction  
Association • DASMA • American Architectural Manufacturers Association •  
Society for Testing and Materials • ASTM International • Aluminum Extruders  
Council • National Paint and Coatings Association • Steel Deck Institute •  
National Glass Association • American Chemical Society • Federation of  
Societies for Coatings Technology • Metal Roofing Alliance



CERAM-A-STAR® 1050 is a registered trademark of an Akzo Nobel Company  
CERAM-A-STAR® 950 is a registered trademark of an Akzo Nobel Company  
TRINAR® is a registered trademark of an Akzo Nobel Company  
POLYDURE® 1000 is a registered trademark of an Akzo Nobel Company  
REL-SHIELD® IV is a registered trademark of an Akzo Nobel Company  
COOL CHEMISTRY® SERIES is a registered trademark of an Akzo Nobel Company  
KYNAR 500® is a registered trademark of Arkema  
HYLAR 5000® is a registered trademark of Solvay Solexis, Inc.  
Energy Star® is a registered trademark of the EPA

Steel Roofing  
Vinyl Siding

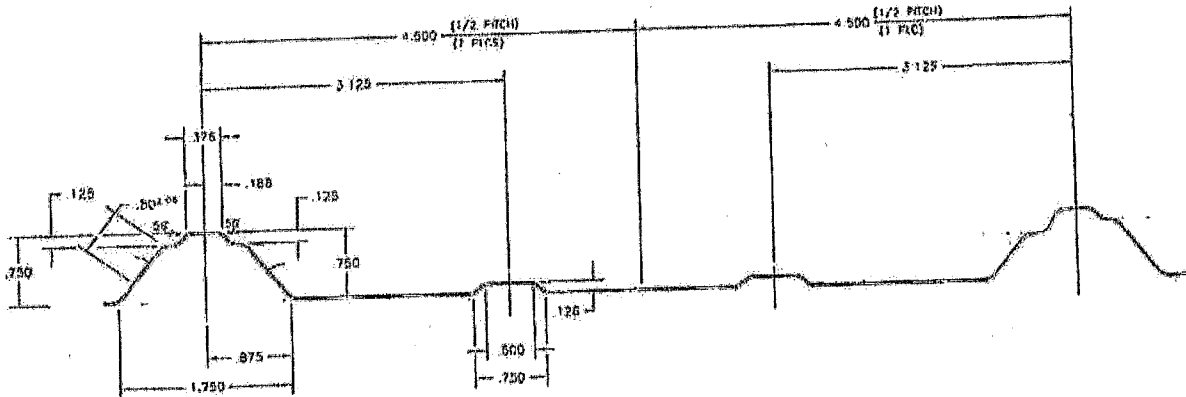


INTEGRITY - EXHIBIT B-5

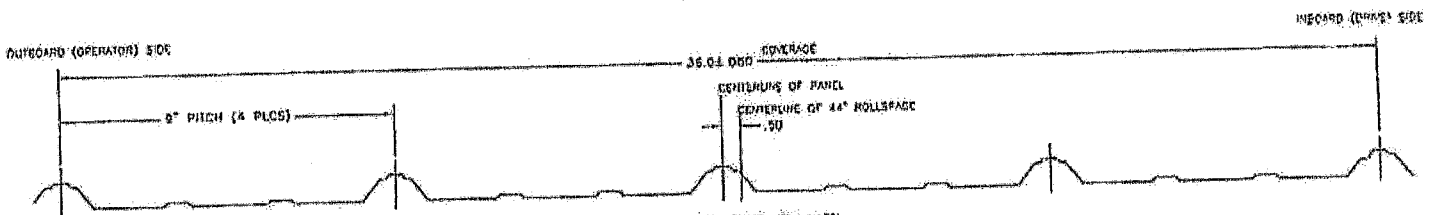
3801 U.S. ROUTE 50 HILLSBORO, OHIO 45133

Steel Panel Specifications for Performance Panel:

United States Steel  
ASTM - A792-03  
Grade 80  
Galvalume  
Paint System is Akzo Nobel  
Ceram-a-Star 1050  
28 gauge



PITCH & END DETAILS



PERFORMANCE RIB PANEL

Phone (937) 364-2331

Fax (937) 364-2333

Toll Free (800) 782-4239

**DIVISION: 07 00 00 – THERMAL AND MOISTURE PROTECTION**

**Section: 07 41 13 – Metal Roof Panels**

**REPORT HOLDER:**

**HIGGINS CONSTRUCTION & SUPPLY COMPANY**  
3801 US 50  
Hillsboro, Ohio 45133  
937-364-2331  
[www.Higginsroofing.com](http://www.Higginsroofing.com)

**REPORT SUBJECT:**

***Performance Panel Steel Roofing***

**1.0 SCOPE OF EVALUATION**

1.1. This research report addresses compliance with the following codes:

2021, 2018, 2015 *International Building Code*® (IBC)  
2021, 2018, 2015 *International Residential Code*® (IRC)  
2023 and 2020 Florida Building Code (FBC) excluding High-Velocity Hurricane Zone. See Section 9.0.  
2023 and 2020 Florida Building Code, Residential

NOTE: This report references 2021 Code sections with [2018, 2015 IBC and FBC] Code sections shown in brackets where they differ.

1.2. *Performance Panel* has been evaluated for the following properties:

- Fire Classification
- Weather Resistance
- Wind Resistance
- Impact Classification

1.3. *Performance Panel* has been evaluated for the following uses:

- A metal roof panel, complying with the requirements of Section 1507.4 of the IBC and FBC, and IRC Section R905.10. The *Performance Panel* shall be installed on roof slopes of 2:12 or greater and limited to the code occupancies as identified in Table 1.

**2.0 STATEMENT OF COMPLIANCE** *Performance Panel*

complies with the Codes listed in Section

1.1, for the properties stated in Section 1.2 and uses stated in Section 1.3, when installed as described in this report, including the Conditions of Use stated in Section 6.

**3.0 DESCRIPTION**

3.1 The *Performance Panel* metal roof coverings and accessories (hip and ridge caps, and flashing) are fabricated from 28 ga. (0.0157-inch-minimum) steel conforming to ASTM A924. The steel has a minimum protective coating conforming to ASTM A792–AZ50 and painted with a silicone-modified polyester finish in various colors. Panels are provided in lengths up to 60 feet, with cross-sectional profile as shown in Figure 1.

**4.0 PERFORMANCE CHARACTERISTICS**

4.1 Wind Uplift Resistance – Maximum allowable design pressures are shown in Table 2 for the *Performance Panels* when tested in accordance with UL 580 and UL 1897. Values are based on allowable stress design (ASD) and include safety factors as specified in ICC-ES AC166 and FBC Section 1504.9.

4.2 *Performance Panels* described in this report have an allowable snow or positive wind pressure of 102 psf when installed on supports spaced 24 inches on center. When installed over solid sheathing, the sheathing must be designed to resist the required design loads in accordance with the applicable code.

4.3 Fire Classification – See Table 1 for recognized fire classifications and code occupancies.

4.4 In addition to the codes recognized in Section 1.1, *Performance Panels* have met the roof impact classification requirements for Class 4 when tested in accordance with FM 4473 and UL 2218.



## 5.0 INSTALLATION

**5.1 General:** *Performance Panel* must be installed in accordance with this report, Section 1507.4 of the IBC and FBC or Section R905.10 of the IRC and the FBC-R (as applicable), and the manufacturer's published installation instructions, the applicable Code, and this Research Report. The manufacturer's published installation instruction and this Research Report must be strictly adhered to. A copy of the manufacturer's instructions must be available on the jobsite during installation.

**5.2 Application:** **5.2.1** The *Performance Panel* utilizes galvanized *Wood Binder* screws for attachment of the metal panels to solid decking or spaced supports. See Table 2 for fastening schedule.

**5.2.1.1** Wood solid decking must be a minimum 15/32 inches plywood, 32/16 rated sheathing complying with Section 2304.8(2) of the IBC and FBC or Section R803 of the IRC and FBC-R, as applicable.

**5.2.1.2** Wood spaced supports must be a minimum 2x4, spaced a maximum of 24 inches on center. Spaced supports shall be positively fastened to the framing of the roof structure at no greater than 24 inches on center.

**5.2.2** Underlayment shall comply with Section 1507.4.5 of the IBC and FBC, or Section R905.10.5 of the IRC and FBC-R, as applicable.

**5.2.3** Flashing shall be in accordance with Section 1503.2 of the IBC and FBC or Section R903.2 of the IRC and FBC-R, as applicable.

**5.2.4** The *Performance Panels* shall be installed on roof of slopes of 2:12 or greater. Lap sealants shall be applied to seams for roof slopes less than 3:12.

## 6.0 CONDITIONS OF USE

**6.1** Installation must comply with this Research Report, the manufacturer's published installation instructions, and the applicable Code. In the event of a conflict, this report governs.

**6.2** The allowable wind uplift resistance listed in Table 2 is for the metal panels only. The roof deck and framing to which the metal panels are attached must be designed for components and cladding in accordance with Section 1609 of the IBC and FBC, and Section R301.2.1 of the IRC and FBC-R.

**6.3** *Performance Panels* is manufactured under a quality control program with inspections by Intertek Testing Services NA, Inc.

## 7.0 SUPPORTING EVIDENCE

**7.1** Manufacturer's drawings and installation instructions

**7.2** Reports of wind uplift resistance in accordance with UL 580-2006, Test for Uplift Resistance of Roof Assemblies.

**7.3** Reports of wind uplift resistance in accordance with UL 1897-15 [-12], Uplift Tests for Roof Covering Systems.

**7.4** Reports of testing in accordance with ICC-ES AC166, Acceptance Criteria for Metal Roof Coverings, approved February 2021.

**7.5** Reports of impact resistance testing in accordance with FM 4473 (2011), Specification Test Standard for Impact Resistance Testing of Rigid Roofing Materials by Impacting with Freezer Ice Balls, and UL 2218 (1996), Standard for Safety for Impact Resistance of Prepared Roof Covering Materials.

**7.6** Documentation of an Intertek approved quality control system for the manufacturing of products recognized in this report.





**8.0 IDENTIFICATION** The *Performance Panel* is identified with the manufacturer's name (Higgins Roofing), address and telephone number, the product name (*Performance Panel*), the Intertek Mark as shown below, and the Code Compliance Research Report number (CCRR-0253).



**9.0 FLORIDA BUILDING CODE**

**9.1 Scope of Evaluation:**

The *Performance Panel* were evaluated for compliance with the *Florida Building Code – Building* and *Florida Building Code – Residential*.

**9.2 Conclusion:**

The *Performance Panel*, described in Sections 2.0 through 7.0 of this Research Report, comply with the

*Florida Building Code – Building* and *Florida Building Code – Residential*, subject to the following conditions:

- Use of the *Performance Panel* for compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code – Building* and the *Florida Building Code – Residential* has not been evaluated and is outside the scope of this Research Report.
- Intertek is an approved *evaluation entity* and *quality assurance entity* pursuant to Florida Statute 553.842 – *Product Evaluation and Approval*.

**10.0 CODE COMPLIANCE RESEARCH REPORT USE**

**10.1** Approval of building products and/or materials can only be granted by a building official having legal authority in the specific jurisdiction where approval is sought.

**10.2** Code Compliance Research Reports shall not be used in any manner that implies an endorsement of the product by Intertek.

**10.3** Reference to the <https://bpdirectory.intertek.com> is recommended to ascertain the current version and status of this report.

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Table 1 – Fire Classifications

Roof Construction	Code Occupancy	Fire Classification
Combustible and noncombustible roof decks or framing.	IBC / FBC Groups R-3 and U, where there is a minimum fire-separation distance of 6 feet, measured from the leading edge of the roof	Non-classified
Noncombustible decks or noncombustible framing without a roof deck	IBC /FBC all use groups and dwellings constructed in accordance with the IRC / FBC-R	Class A

Table 2 – Uplift Resistance and Construction Details

Deck (1)	Fastener Attachment	Allowable Design Loads(2)
SPF (specific gravity, G=0.42) wood purlins spaced 24 in. on center. Purlins must be of minimum thickness to allow full penetration of the screws.	Installed on the flat with 1 in. long, galvanized ZXL <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-75.0 psf
SPF (specific gravity, G=0.42) wood purlins spaced 24 in. on center. Purlins must be of minimum thickness to allow full penetration of the screws.	Installed on the high corrugation with 2 in. long, galvanized <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-67.5 psf
15/32 in. plywood sheathing (32/16 rated sheathing) secured supported by SYP (specific gravity, G=0.55) wood framing spaced 24 in. on center.	Installed on the flat with 1 in. long, galvanized ZXL <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-90.0 psf
15/32 in. plywood sheathing (32/16 rated sheathing) secured supported by SYP (specific gravity, G=0.55) wood framing spaced 24 in. on center.	Installed on the high corrugation with 2 in. long, galvanized <i>Wood Binder</i> screws spaced 9 in. on center along the width of the panel, spaced 24 in. on center along the length of the panel.	-82.5 psf

<sup>(1)</sup> Wood supports (sheathing and framing) must be equivalent or greater in specific gravity. Installation on wood substrates with a lesser specific gravity may result in lower allowable design loads.

<sup>(2)</sup> Allowable uplift resistance values are based on allowable stress design (ASD) and include safety factors as specified in ICC-ES AC166 and FBC Section 1504.9.



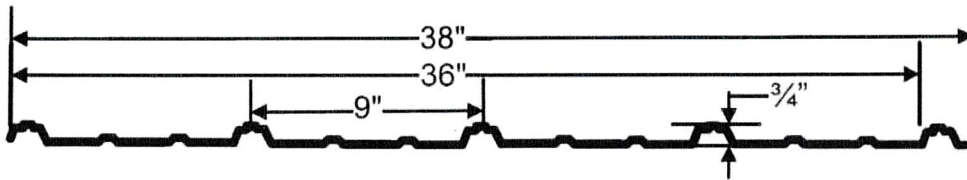


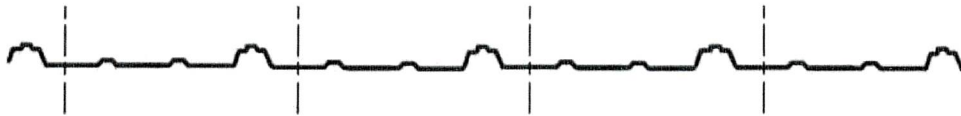
Figure 1 – Performance Panel Profile



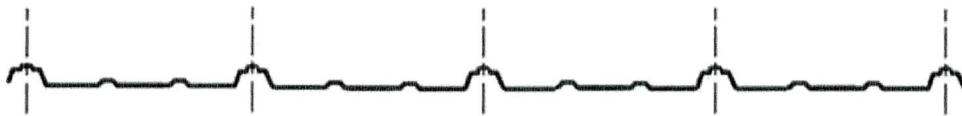
Figure 2 – ZXL Wood Binder



Figure 3 – Wood Binder



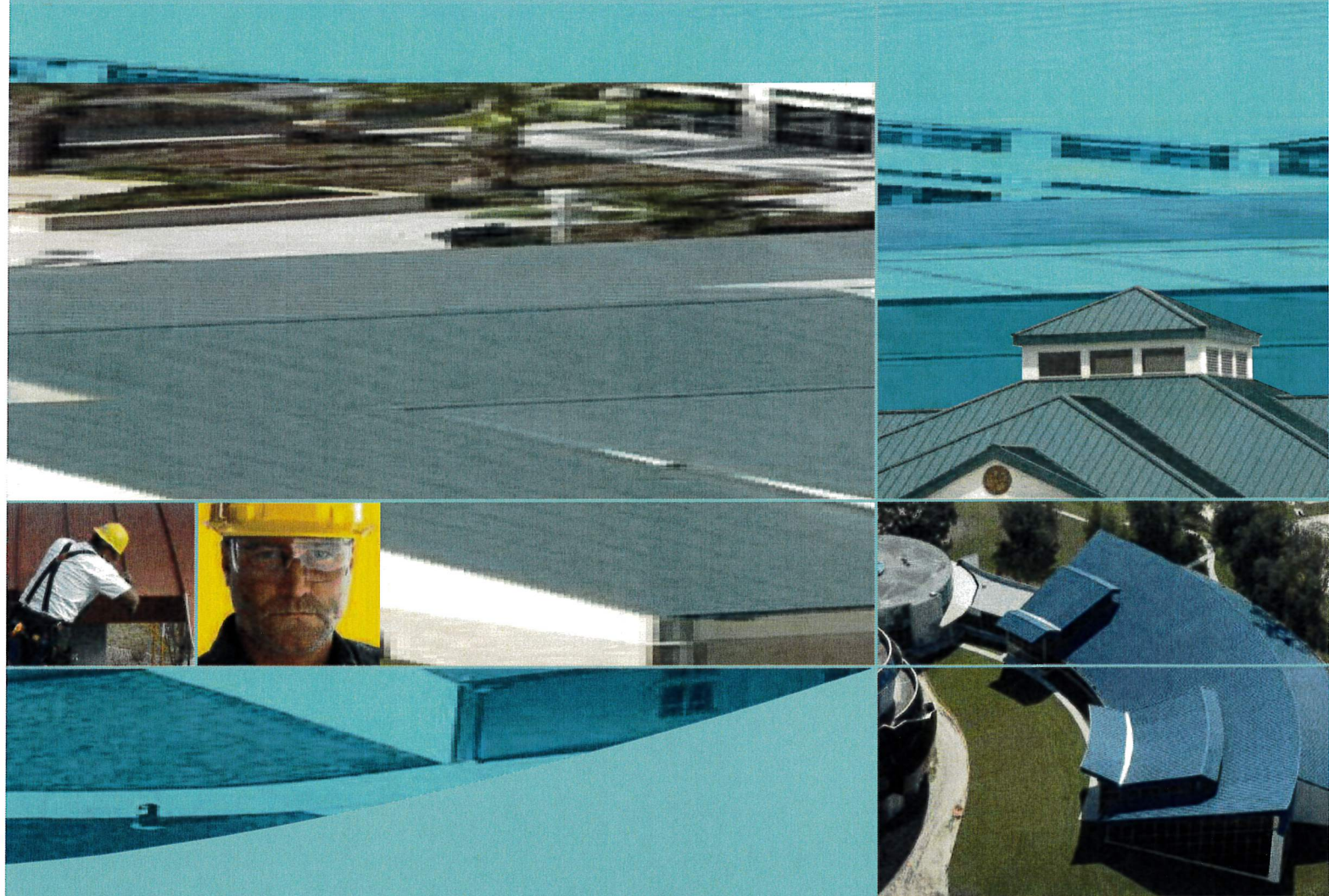
Installation on the flat



Installation on the high corrugation

Figure 4 – Fastener Application Details

# CERAM-A-STAR® 1050



THE INDUSTRY'S BEST AND  
STRONGEST SILICONE-MODIFIED  
POLYESTER COIL COATING SYSTEM.

## THE CHALLENGE

Achieving outstanding long-term performance in metal building components is a big challenge for coatings. Maintaining their color and integrity over decades of harsh weather conditions and natural degradation is a tough task.

While the industry was satisfied with the performance of silicone-modified polyesters, Akzo Nobel was not. So we went to work.

We spent more than 10 years in the laboratory and in the field researching, developing and testing the next generation of silicone-modified polyester (SMP). It didn't happen overnight, but it did happen.

And it was well worth the wait.

## FACING THE CHALLENGE



Close-up of original paint chip on faded metal roofing.



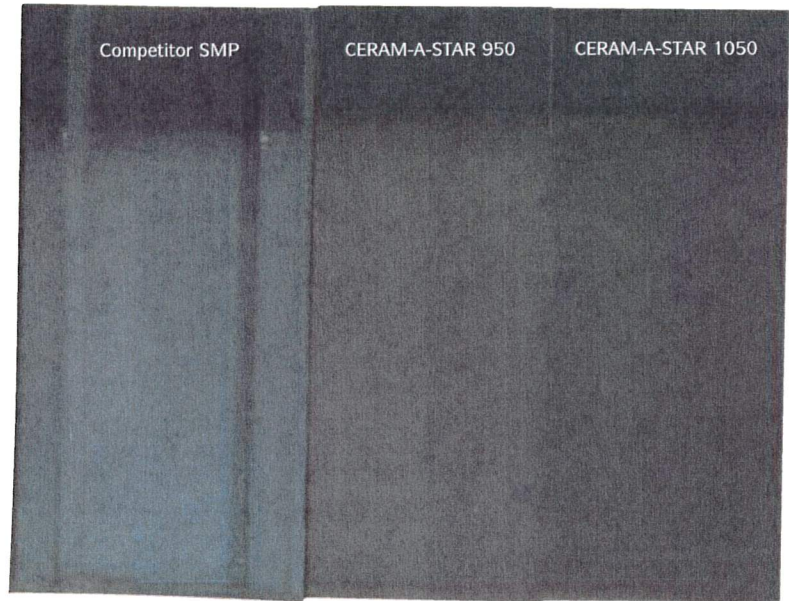
Competitive SMP coating on building after ten years in Ohio weather.

## THE NEW STANDARD

Akzo Nobel Coatings is pleased to introduce CERAM-A-STAR® 1050, the new standard in performance for SMP systems. CERAM-A-STAR 1050 is a silicone-protected polyester coil coating system designed exclusively for the metal construction industry.

Built on the proven strength of CERAM-A-STAR® 950, Akzo Nobel's CERAM-A-STAR 1050 is the industry's best and strongest SMP coil coating system, offering superior color stability, chalk resistance, fade resistance and gloss retention.

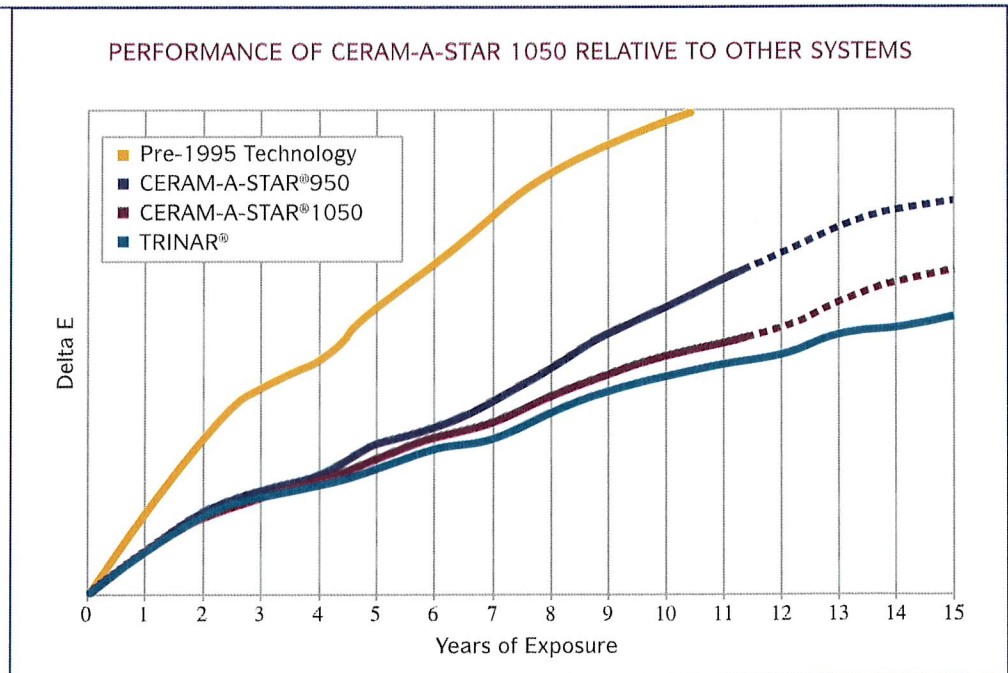
How did we do it? Two words: unique chemistry.



Coatings tested in real-life conditions in a comprehensive weathering program in South Florida.

## SETTING A NEW STANDARD IN PERFORMANCE

Proven in 45° South Florida exposure, CERAM-A-STAR 1050 delivers a much-improved level of color retention.





### UNIQUE CHEMISTRY

CERAM-A-STAR 1050's proprietary new resin formulation provides the backbone for this revolutionary SMP system. It's combined with ceramic and inorganic pigments and other enhancements to our award-winning CERAM-A-STAR 950 system to create the most resistant SMP finish available.

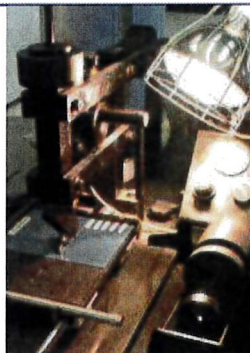
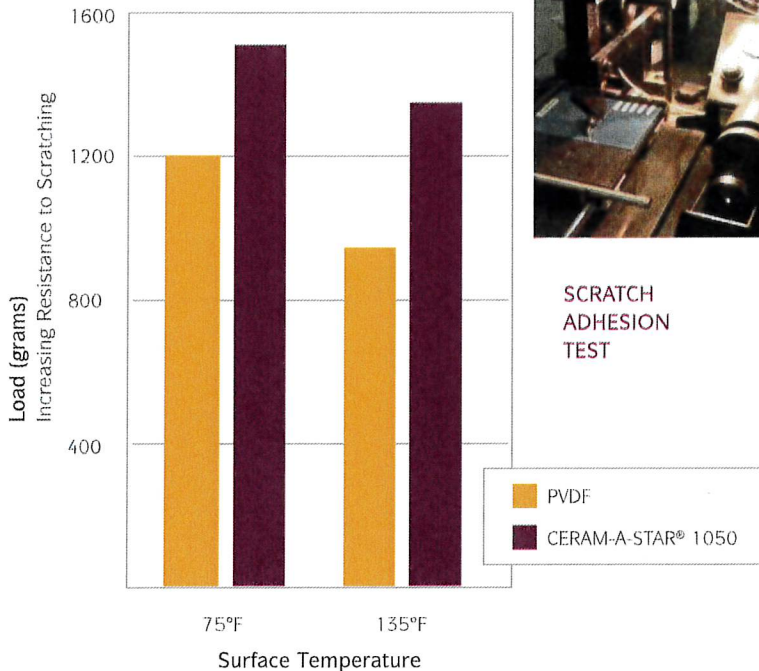
The two-coat system, using our OPTIMA high-performance primer, provides exceptional durability and offers superior resistance to moisture and UV, as well as excellent flexibility and abrasion resistance. And, the unique and highly-durable topcoat provides the best color stability and gloss retention of any SMP product.

In fact, the color stability of CERAM-A-STAR 1050 rivals that of Kynar<sup>®</sup> 500 and Hylar<sup>®</sup> 5000 coatings, while offering excellent resistance to dirt pickup and atmospheric stain. Its scratch-and abrasion-resistance are big bonuses during transit, handling and installation as well – particularly in hot weather. These qualities in particular make CERAM-A-STAR 1050 an excellent alternative to PVDF coatings in certain applications where hot hardness and handling issues are a concern.

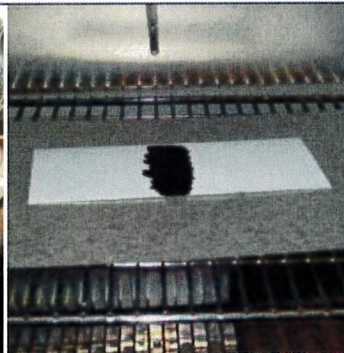
CERAM-A-STAR 1050 comes in a wide range of colors, including our solar-reflective COOL CHEMISTRY<sup>®</sup> SERIES. All remain stable and true well beyond what you've come to expect from an SMP.

## 10 YEARS IN THE MAKING

### SCRATCH ADHESION TEST RESULTS



SCRATCH ADHESION TEST



RESISTANCE TO DIRT AND STAIN TESTING

A 10% carbon black pigment dispersion is applied to CERAM-A-STAR 1050 panel and polyester coating. Panel is then placed in oven at 150° for 60 minutes.



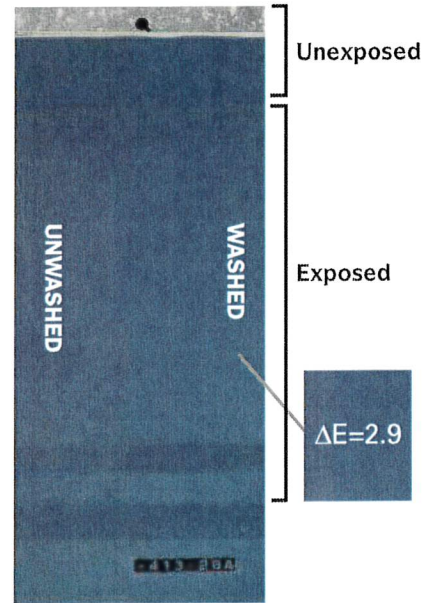
After cooling, panel is rubbed and rinsed under cool water. CERAM-A-STAR 1050 shows better resistance to atmosphere stain.

## TESTED TOUGH

We don't believe in shortcuts. That's why we spent 10 years testing CERAM-A-STAR 1050 in the laboratory and on the outdoor test fence to ensure its quality and durability before bringing it to the market. You just can't get real-world results without real-world testing.

In a decade of outdoor tests at our South Florida weathering farm, CERAM-A-STAR 1050 showed its mettle. Our proprietary new silicone polyester resin formulation withstood the harsh conditions and sweltering sun.

That's why we know it will stand the test of time in the buildings you build.



CERAM-A-STAR 1050 panel exposed for 11 years in South Florida shows color fade less than 3 Hunter units

## STANDING THE TEST OF TIME



### REAL-WORLD TESTING

Real-world testing in South Florida at 45°. One year of testing is equivalent to two years on a roof and three years on a wall north of Jacksonville, Florida.

### REAL-WORLD STAIN TESTING

Both parts of this building started out the same white color. Akzo Nobel's original white is on the left; stained competitor's white is on the right.

### CHALK RESISTANCE

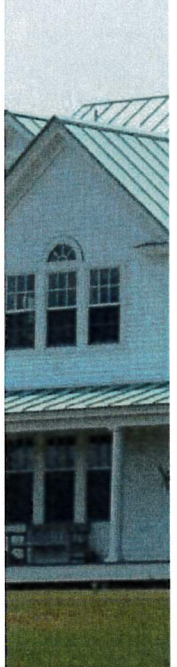
CERAM-A-STAR 1050 is proven to be the best chalk resistant technology.

## THE PRODUCT OF CHOICE

CERAM-A-STAR 1050 performs better. Period. That's why it's the product of choice for many commercial, residential and pre-engineered metal building components. If you're looking for durability, color stability, chalk resistance, gloss retention and scratch resistance in your metal building materials, it should be your choice, too.

We're so sure CERAM-A-STAR 1050 is the best coil coating system in the business that we've given it the best SMP warranty in the business as well.

That means you'll have plenty of time to see what we mean when we say CERAM-A-STAR 1050 is the brightest star in the SMP galaxy.



*CERAM-A-STAR® 1050 PERFORMS BETTER, PERIOD.*

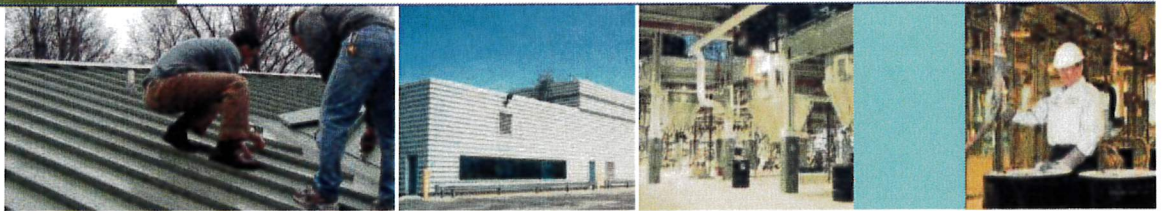


## ABOUT AKZO NOBEL

Akzo Nobel Coatings Inc. is part of the Coatings Division of Akzo Nobel NV, a Global Fortune 500 company and one of the world's leading diversified chemical companies. Based in the Netherlands, the Company employs more than 60,000 people worldwide, has operating subsidiaries in more than 80 countries and offers a wide and diverse product portfolio in the fields of chemicals and coatings.

Akzo Nobel's Coatings Division is the largest coatings manufacturer in the world and one of North America's leading manufacturers of industrial finishes. Headquartered in Columbus, Ohio, the division manufactures and markets coil and extrusion coatings in North and South America and Asia.

Akzo Nobel Coatings is the market leader in the development and supply of coil coating, the most effective method in use to ensure the consistent, high-quality protection and decoration of metal substrates.



### COOL CHEMISTRY® Series

Improvements in Total Solar Reflectance may be realized by using Akzo Nobel's COOL CHEMISTRY® Series ceramic infrared reflective pigments. These special pigments are designed to reflect infrared energy while still absorbing visible light energy, thus appearing as the same color yet staying much cooler. When COOL CHEMISTRY® Series paints are used on metal roofing, the result is a sustainable building material that can lower air conditioning costs, reduce peak energy demand, and help to mitigate urban heat island effects.

### TRINAR® Coatings (also offered in COOL CHEMISTRY® Series)

Akzo Nobel's TRINAR® finishes are made with unique polyvinylidene fluoride resin, where a minimum of 70% of the resin is Kynar® 500 or Hylar 5000® PVDF. This unique chemistry is combined with our own proprietary acrylic resin, as well as ceramic and select inorganic pigmentation. The result is TRINAR's proven ability to resist ultraviolet radiation in sunlight for maximum protection against general weathering effects, chalking and fading.

### CERAM-A-STAR® 950 Coatings (also offered in COOL CHEMISTRY™ Series)

This coating system establishes a new level of high performance for silicone protected polyester coatings utilized by the metal construction industry. CERAM-A-STAR® 950 colors are created from field-proven combinations of proprietary copolymer resin technology and long-lasting, colorfast ceramic and select inorganic pigments. The result is a long-lasting finish that resists degradation from ultraviolet radiation in sunlight.

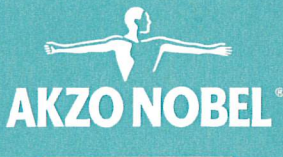
### POLYDURE® 1000 Coatings

POLYDURE® 1000 coatings are high-quality polyester finishes usually used in whites as a complement to CERAM-A-STAR 950 and CERAM-A-STAR 1050 finishes. POLYDURE 1000 coatings feature a tough, hard film with good flexibility, and good chalk and fade resistance, as well as exceptional resistance to dirt pick-up. They blend proprietary Akzo Nobel polyesters with time and exposure proven pigments to achieve enhanced durability and performance.

### REL-SHIELD® IV Coatings

Akzo Nobel's REL-SHIELD® IV PVC (Plastisol) coating system provides thick film protection (4-10 mils) on metal building components and siding. It is extremely flexible and offers excellent resistance to most chemicals. Choices of surface appearance include smooth, ripple, and striated.

Marketing Manager  
Akzo Nobel Coatings Inc.  
1313 Windsor Avenue  
P.O. Box 489  
Columbus, Ohio 43216-0489



For more information about CERAM-A-STAR® 1050 coil applications call  
**614 294 3361** or visit [www.akzonobel-ccna.com](http://www.akzonobel-ccna.com)

Member of: Cool Roof Rating Council (Charter Member) • Energy Star Partners  
• National Coil Coating Association • Construction Specifications Institute •  
Metal Building Manufacturers Association (Associate) • Metal Construction  
Association • DASMA • American Architectural Manufacturers Association •  
Society for Testing and Materials • ASTM International • Aluminum Extruders  
Council • National Paint and Coatings Association • Steel Deck Institute •  
National Glass Association • American Chemical Society • Federation of  
Societies for Coatings Technology • Metal Roofing Alliance



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CERAM-A-STAR® 950 is a registered trademark of an Akzo Nobel Company  
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POLYDURE® 1000 is a registered trademark of an Akzo Nobel Company  
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COOL CHEMISTRY® SERIES is a registered trademark of an Akzo Nobel Company  
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HYLAR 5000® is a registered trademark of Solvay Solexis, Inc.  
Energy Star® is a registered trademark of the EPA



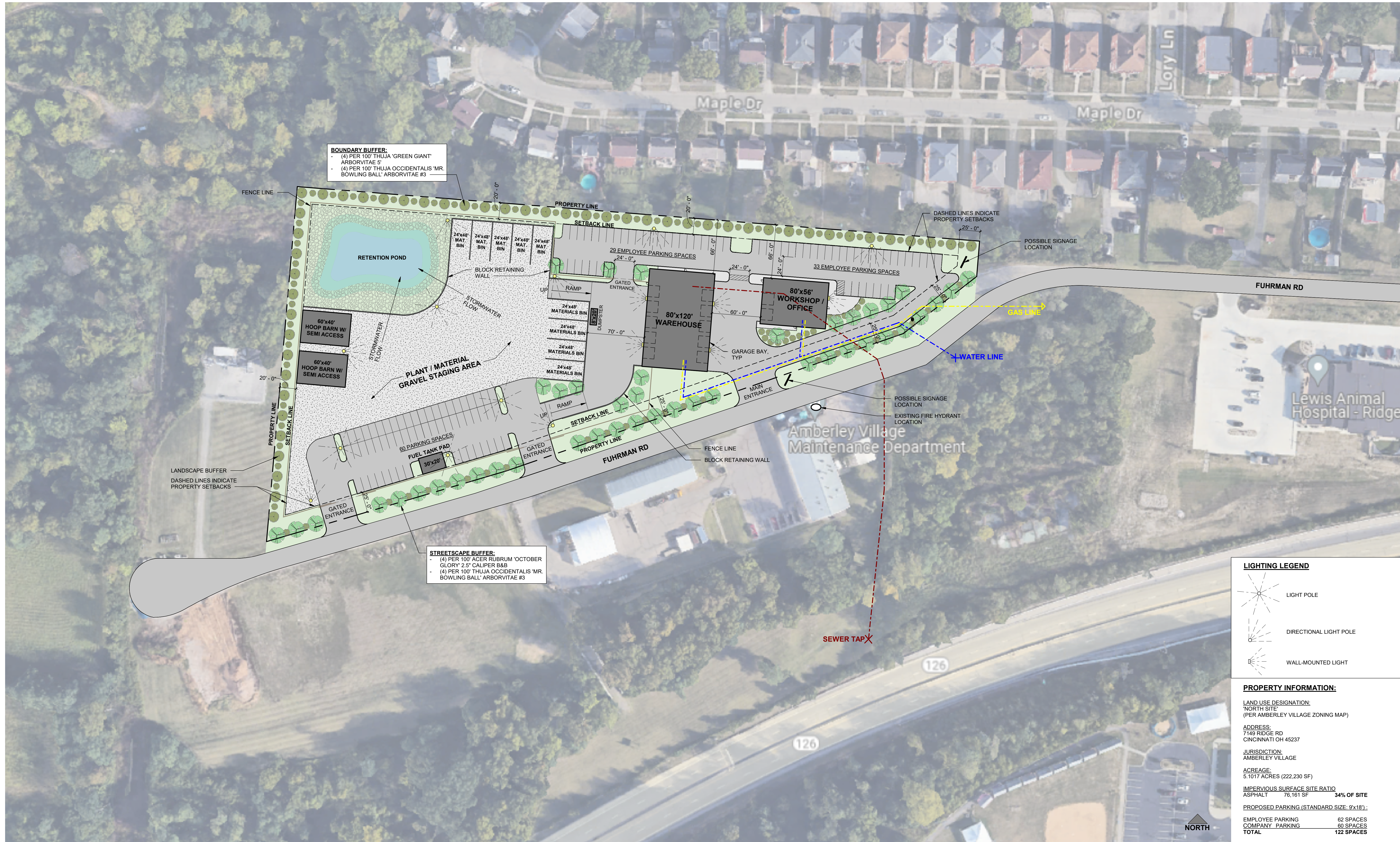
DRAWING SCALE: 1" = 100'-0" **A1**

JAKE HENDERSON  
 ARCHITECTURAL DESIGNER  
 E: JAKEHENDERSON121@GMAIL.COM  
 P: 770.789.3719

**INTEGRITY GREEN LANDSCAPING COMPLEX**  
 8605 RIDGE ROAD, CINCINNATI OH 45237  
 CONTEXT PLAN

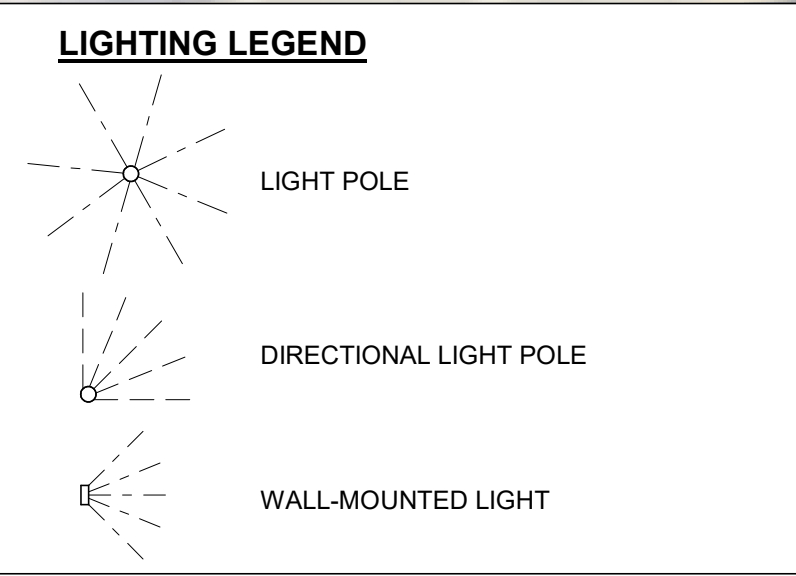
DESIGN DOCUMENT ONLY  
 NOT FOR CONSTRUCTION

04.29.2025



**BOUNDARY BUFFER:**  
 - (4) PER 100' THUJA 'GREEN GIANT' ARBORVITAE 5'  
 - (4) PER 100' THUJA OCCIDENTALIS 'MR. BOWLING BALL' ARBORVITAE #3

**STREETSCAPE BUFFER:**  
 - (4) PER 100' ACER RUBRUM 'OCTOBER GLORY' 2.5' CALIPER B&B  
 - (4) PER 100' THUJA OCCIDENTALIS 'MR. BOWLING BALL' ARBORVITAE #3



**PROPERTY INFORMATION:**

**LAND USE DESIGNATION:**  
 'NORTH SITE'  
 (PER AMBERLEY VILLAGE ZONING MAP)

**ADDRESS:**  
 7149 RIDGE RD  
 CINCINNATI OH 45237

**JURISDICTION:**  
 AMBERLEY VILLAGE

**ACREAGE:**  
 5.1017 ACRES (222,230 SF)

**IMPERVIOUS SURFACE SITE RATIO**

ASPHALT	76,161 SF	34% OF SITE
---------	-----------	-------------

**PROPOSED PARKING (STANDARD SIZE: 9'x18'):**

EMPLOYEE PARKING	62 SPACES
COMPANY PARKING	60 SPACES
<b>TOTAL</b>	<b>122 SPACES</b>

# INTERIOR LANDSCAPE CALCULATIONS

Island	SF
1	249.6
2	122.76
3	184.99
4	198.84
5	132.86
6	247.79
7	1197.96
8	1634.61
9	155.25
10	881.82
11	480.29
12	451.87
13	2851.83
14	392.14
Total	9182.61
Trees in Islands	15

