

AGENDA

September 17, 2018

PLANNING COMMISSION/BOARD OF ZONING APPEALS

7:00 PM

Roll Call

Minutes

Meeting of August 7, 2018

Cases

CASE NO. 2018-29

Robert Roth and Christine Blanck, property owners of 8068 Sagamore Drive are seeking a variance to allow for a shed to be constructed with a setback of 3' to the side property line and allow the doors to face toward the street.

CASE NO. 2018-30

Stephen Moses, property owner of 2191 Blue Grass Lane, is seeking a variance from Village Code Section 154.33 (A). The variance would allow a proposed attached garage on the back of the house to encroach approximately 3.5' into the required rear yard.

CASE NO. 2018-31

Rick and Melissa Lauer, property owners of 6945 Fair Oaks Drive are requesting a variance from Zoning Code Section 154.12 (A). The variance would allow for a chicken coop and enclosure to be located in the front yard.

New Business

Adjournment

MINUTES OF THE REGULAR MEETING OF THE AMBERLEY VILLAGE
BOARD OF ZONING APPEALS/PLANNING COMMISSION
HELD AT THE AMBERLEY VILLAGE MUNICIPAL BUILDING
MONDAY, AUGUST 6, 2018

Chairperson Richard Bardach called to order a regular meeting of the Amberley Village Board of Zoning Appeals/Planning Commission held at the Amberley Village Municipal Building on Monday, August 6, 2018 at 7:00 P.M.

Roll was called: PRESENT: Richard Bardach, Chairperson
 Rick Lauer
 Susan Rissover
 Scott Wolf

 ALSO PRESENT: Kevin Frank, Esq., Solicitor
 Scot Lahrmer, Village Manager
 Nicole Browder, Clerk
 Wes Brown, Zoning & Project Administrator

Chair Bardach welcomed everyone to the meeting and led them through the pledge of allegiance.

Chair Bardach asked if there were any additional corrections to the minutes of the July 12, 2018 meeting minutes. There being none, the minutes were accepted as submitted.

Chair Bardach announced to the audience that the Board typically has five members. This evening the Board has four members and the applicants have the option of postponing their applications for consideration for next month when all five members will be present. It was also clarified that three votes would be necessary to pass a variance.

Applicants Adam and Renee Lipton chose to proceed with the hearing of their variance request.

Case No. 2028

Chair Bardach introduced the application from Adam and Renee Lipton, property owners 8200 Springvalley Drive, seeking a variance from Zoning Code 154.14 (A).

Wes Brown, Zoning & Project Administrator for the Village, provided the staff report for the application. He informed the Board that the variance would allow a four-foot-high Kentucky Board fence to be extended 65' into the front yard to enclose a portion of the frontage situated on Galbraith Road.

Mr. Brown stated that the Liptons are in the process of building their home at 8200 Springvalley Drive. He explained the Village's Zoning Code considers this corner lot to have two front yards, Galbraith Road to the south and Springvalley Drive to the west.

A zoning approval was granted to allow the homeowners to construct a 4' high Kentucky Board fence to enclose the rear yard of the property, from the south face of the house to the north property line. This fencing has not yet been constructed.

The requested variance is to allow the previously approved fence to be extended 65' to the south beyond the front face of the house, into the Galbraith Road frontage.

The applicant's letter to the board states that the house is positioned approximately 165' to the north of Galbraith Road to limit the noise from the street but with the hopes of still being able to utilize this portion of the yard. The fence is proposed to be approximately 63' from the right of way for Galbraith Road and 100' north of the street.

The applicant's letter explains the purpose of the extension is to allow their family to enjoy this portion of the yard with the family pets. The letter also states that they are currently working with a landscape contractor to design a natural privacy shield utilizing a mixture of trees and shrubbery, which is intended to further block the view of the fence from Galbraith and the corner.

Chair Bardach invited the applicants to address the Board.

Mr. Adam Lipton stated the staff summary provided was very thorough. He expressed that he did not believe there to be an aesthetic impact because of the existing trees and planned landscaping. He also noted the fence does not project into the corner of the property where it might be construed as a visual issue for traffic.

Tom Berger, 3300 Galbraith, expressed his desire to fully understand the location of the fence. Mr. Lipton utilized the map on the smartboard to point out the exact location of the proposed fencing, clarifying what has already received zoning approval and which section is being requested through the variance.

Ms. Rissover asked what the proposed fence would look like in appearance. Mr. Lipton shared a photo on his cell phone as to the fence type, which was Kentucky Board with a natural look, including a mesh fence to be coated brown to further blend in visually.

Mr. Wolf asked for a description of the landscaping plans. Mr. Lipton referred to the line of trees on Galbraith utilizing the map on the smartboard and clarified that the intent is to have additional privacy along the fence where it is not shielded by the existing tree line which would be comprised of a combination of evergreens for year-round greenery.

Chair Bardach read the attached email into the record which was received from resident Steve Cushard, dated August 2, 2018, regarding his opposition to the variance.

Chair Bardach asked if anyone else present wished to speak. No additional persons from the audience wished to speak on the variance.

Mr. Lauer asked if the variance was only required because it is a corner lot. Mr. Brown confirmed that was correct.

Mr. Wolf commented that the Board has had this situation many times with corner lots having two front yards for zoning purpose. He noted uniformly the Board has given great consideration toward the homeowner.

Ms. Rissover commented that this stretch of Galbraith has other fences in the area that were either approved or grandfathered. She stated that the proposed fence would be in keeping with the character of this part of the Village.

Mr. Wolf expressed that he would like to see the landscaping plan included in the approval along with the type of fence.

Solicitor Frank clarified that conditions are intended to alleviate any potential adverse outcomes later that could occur.

Mr. Wolf stated that this is an area that has been undeveloped for a long time and he appreciates someone moving there and posed if it would be beneficial to maintain the area to a degree with landscaping because of how long it has looked the way it is.

Mr. Lipton was asked to clarify the type of greenery being planned. He stated it would be Blue Spruce and Arborvitae.

Solicitor Frank stated the location for the record, being on the vertical north south fence area. From the corner of the house down 65 feet and to the east.

Mr. Lauer stated that he was in support of approving the variance to include the landscaping, but it would not be his preference. He stated the variance is required because of the unusual lot and anywhere else in the village a variance would not be required. He commented that it was a nice fence and would improve the look the neighborhood.

Ms. Rissover moved to grant the fence as submitted with the landscaping and the type of fence being Kentucky Board material and style. Seconded by Mr. Wolf and the vote carried unanimously.

New Business

Discussion was held regarding possible dates in September for the next meeting due to the Labor Day holiday. Mr. Lahrmer stated he would follow-up to set a date to include Mr. Rubenstein's schedule.

There being no further business the meeting was adjourned.

Nicole Browder, Clerk

Richard Bardach, Chairperson



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberlevillage.org

BOARD OF ZONING APPEALS
MEETING NOTICE

WHEN: September 17, 2018 at 7:00 PM
WHERE: Amberley Village Municipal Building, 7149 Ridge Road
FROM: Scot Lahrmer, Village Manager

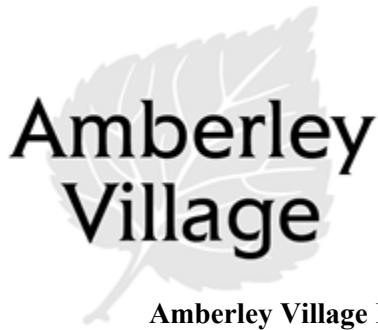
Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals **Monday, September 17, 2018** at 7:00 p.m. in the Council Chambers of the Amberley Village Municipal Building, 7149 Ridge Road. The public meeting will be held to review the following item:

Residents Robert Roth and Christine Blanck are seeking a variance from Village Code Section 154.12 (B). The variance would allow for a shed to be constructed with a setback of 3' to the side property line and allow the doors to face toward the street.

If you are interested in reviewing the application you may do so Monday through Friday, 8:00 a.m. to 4:00 p.m. at the Amberley Village Municipal Building, 7149 Ridge Road or you may attend the **September 17, 2018** Board of Zoning Appeals public meeting. If you should have any questions, please feel free to contact Scot Lahrmer at (513) 531-8675.

cc: Robert Roth & Christine Blanck, 8068 Sagamore Drive
Claire Carr, 8072 Sagamore Drive
Gordon & Mary Hammergren, 8157 Fontaine Court
Robert & Jilda Elsener, 2927 Minot Avenue
Mary Gallagher, 8141 Fontaine Court
Gerald & Susan Dimmerling, 8040 Sagamore Drive
Jason & Kristin Heitz, 8075 Sagamore Drive
Martin Patrick & Teresa Lacey, 8051 Sagamore Drive
Members of the Board of Zoning Appeals
Mayor Thomas C. Muething
Amberley Village Council Members
Scot F. Lahrmer, Village Manager
Kevin Frank, Wood & Lamping LLP
Village Posting Boards (5)
Cincinnati Enquirer

POSTED 09/07/2018



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

Amberley Village Board of Zoning Appeals Staff Report

September 17, 2018

Subject:

8068 Sagamore Drive

Variance:

Side yard setbacks and shed doors facing the street

Item: Case#2018-29

Variance Request: Robert Roth and Christine Blanck, property owners of 8068 Sagamore Drive are seeking a variance to allow for a shed to be constructed with a setback of 3' to the side property line and allow the doors to face toward the street.

Zoning Code Review: 154.12 (B) No accessory structure shall be erected in any side yard within a distance from the near side lot line less than the least width of the side yard required for the principal building and its principal access may not face any street, road or highway.

Variance Review: Mr. Roth and Ms. Blanck are proposing to replace the existing shed in their rear yard with a larger and nicer one. Their property is located in the Residence A Zoning District and the setbacks for an accessory structure are 20' from the side, 20' from the rear property lines and the principal access shall not face the street.

The letter to the board states that when they purchased their home, the existing shed was in its current location and alignment which is 3' from the south property line and the doors facing the street. The time frame in which the shed was built is unknown, as the Village does not have a record of a zoning permit being issued.

The new 12'x16' shed is proposed to be located in the same location, at the end of the driveway with the doors facing toward Sagamore Drive and will be painted to match the color scheme of the house.

The purpose of enlarging the shed and locating it near the end of the driveway is to minimize the distance between the shed and vehicles while loading and unloading larger objects from the shed.

The letter also states that the existing shed has a compacted gravel base that would have to be removed and established elsewhere on the property if the shed were to be moved to another location. Also the letter states that moving the shed to meet code would place it near the middle of the rear yard which would block their view of the back yard, which is what the residents consider one of the most valuable aspects of their property, and prevents access to the rear yard.

The purpose of the doors facing the driveway and street is to accommodate any larger objects such as kayaks, which due to the length, need to enter the long end of the shed as opposed to the doors on the side of the shed.

The existing shed would be considered grandfathered and allowed to be maintained in its current location until it is removed. However, to be constructed in the proposed location and alignment, the new shed requires two variances from code section 154.12.

The first variance is to allow the shed to encroach 17' into the required side yard and the second is to allow the principal access to face the street.

Project Recommendations: The project is recommended on its merit.

Date: 8/23/18

Mr. Scot F. Lahrmer
Village Manager
7149 Ridge Road
Cincinnati, OH 45237

RE: Zoning Approval

Dear Mr. Lahrmer:

I hereby request a zoning approval for:

REPLACING MY EXISTING BACKYARD SHED WITH
A NEW ONE PER THE ATTACHED PLANS

The structure is proposed at the following address:

8068 SAGAMORE DRIVE

I certify the attached plat and measurements are accurate.

RICKEVANS-
TUFF SHED/HOME DEPOT
Contractor's Name

Contractor's Address

513-317-4074

Telephone Number

Sincerely,

Robert H Roth
Homeowner's Signature

ROBERT H ROTH
Homeowner's Printed Name

513-478-0730
Telephone Number (daytime)

Mr. Wes Brown, Amberley Village Zoning & Project Administrator

Dear Mr. Brown,

First, thanks for replying to my call and letting me know what my next steps need to be.

I and my partner / co-homeowner Christine Blanck are seeking a permit to replace our backyard shed with a larger and nicer one in the same location. The new shed will be built by Tuff Shed which is the premium supplier of prefabricated sheds in this area, and will be painted to match the color scheme of our house.

The existing shed may have been in place for as long as 60 years, but for certain since we bought the house in 2001. Building on the current location and alignment of the shed will require a variance to two zoning requirements:

1. The current shed is 3 feet from the south property (and fence) line vs. the regulation which I believe is 30 feet.
2. We want the main door to face the street and the regulation says it cannot.

There have never been any complaints or comments about the existing shed at least since we've owned the house. I've discussed this issue with our neighbors to the south, and they have zero concerns with the siting close to their property line. We believe the variances we're requesting are of no concern to any neighbors and will positively impact property values to both ourselves and our neighbors.

The hardships with moving the shed from its current location and alignment include:

The purpose of enlarging the shed is to facilitate storing and using a pair of Kayaks we're planning to buy, and to enable them to be easily loaded onto our cars and moved back in storage. The current shed is sited at the end of our driveway. This minimizes the distance from the car to the shed, and eliminates traversing the lawn and flower beds to move large or heavy objects over sometimes waterlogged terrain.

The existing shed site has had gravel compacted over the site for, once again, possibly as long as 60 years. This will provide a stable foundation for the new shed without the need to spend many hundreds or possibly thousands of dollars to move the gravel to a new location. The regulation location is open lawn, has not been compacted and settled like the current foundation, and might result in the shed settling and settling unevenly.

Beyond the gravel issue, we would need to remediate the existing shed site to successfully plant a lawn there, which would again cost many hundreds or possibly thousands of dollars.

Moving the shed 30 feet from the south property line would put it smack in the center of our backyard. One of the most valuable aspects of our property is the large open backyard ringed

by mature trees. Placing the shed smack in the middle of this will ruin this aesthetic and lower the value of our property.

Occasionally we need to have a service vehicle enter the backyard for such services as tree pruning or dropping off mulch or soil. Moving the shed site from its current location will block the main access route for any such vehicle.

The front door of the shed would be 128 feet from Sagamore Drive. It can't even be seen at all most of the time, especially because one of our cars is parked in front of it at the end of our driveway. Sagamore Drive has many street facing garages which are frequently open and only 40-50 feet from the street. Having our door face the street is a non-issue for any neighbor or passerby.

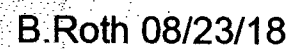
As I noted earlier we want the door facing the driveway and therefore the street to facilitate moving kayaks from inside the shed to our vehicles. Due to their length they need to come out the long end of the shed. These are large, unwieldy, and moderately heavy objects and we're not getting younger! We want to minimize the length and direction of the trip to reduce our risk of injury in handling them.

We both appreciate your consideration of our request for these variances. We think they're reasonable, of no concern to our neighbors, and actually positive for the neighborhood property values.

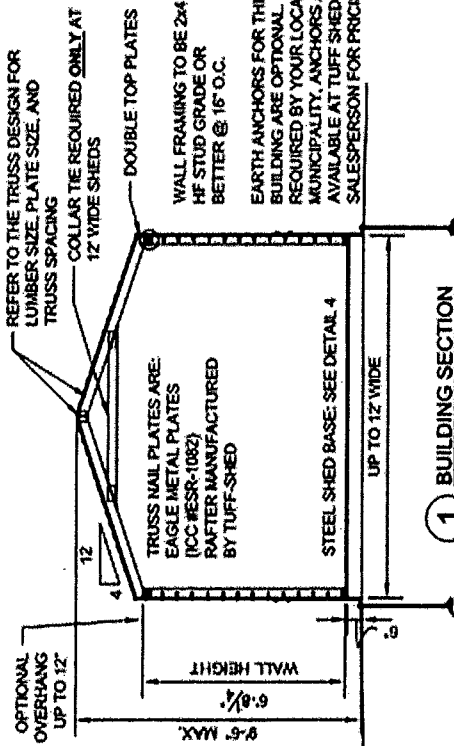
Thank you,

Bob Roth & Christine Blanck
8068 Sagamore Drive
Cincinnati, OH. 45236
513-478-0730

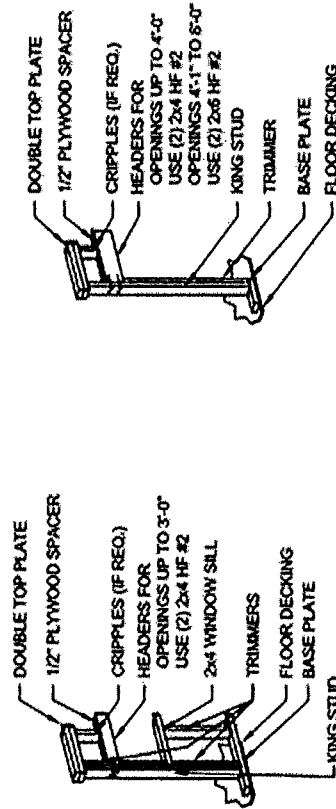
Street



TR/TRD-700 SHED UP TO 12' WIDE x UP TO 24' LONG SUNDANCE SERIES

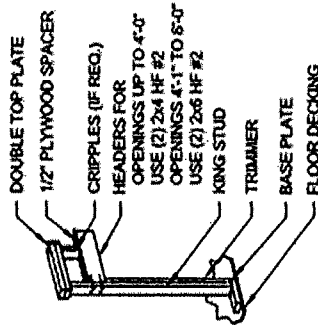


1 BUILDING SECTION
SCALE: 1/8" = 1'-0"



FOR WINDOW OPENINGS UP TO 3'-0"
ON SUNDANCE SERIES SIDE WALLS

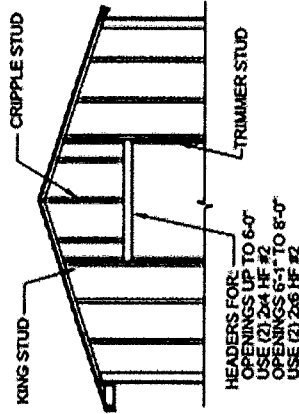
2A WINDOW HEADER DETAIL
FOR LOAD BEARING WALLS
SCALE: 1/4" = 1'-0"



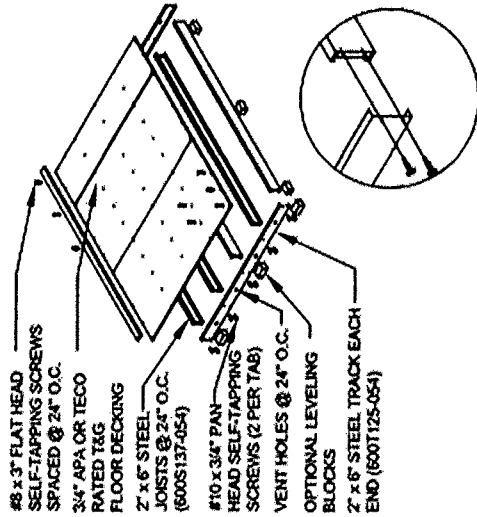
FOR OPENINGS UP TO 8'-0" ON
SUNDANCE SERIES SIDE WALLS

2B DOOR HEADER DETAIL
FOR LOAD BEARING WALLS
SCALE: 1/4" = 1'-0"

- NOTES:**
- BUILDING CODE: 2015 IBC AND 2015 IRC
 - DESIGN LOADING:
WIND SPEED & EXPOSURE: 115C
ROOF LIVE LOAD: 40 PSF
ROOF DEAD LOAD: 10 PSF
 - FOR SHEDS WHICH OTHERWISE MEET THE PRESCRIPTIVE REQUIREMENTS OF THE 2015 IBC AND 2015 IRC ALL SHEDS CONSTRUCTED ACCORDING TO STANDARD CONVENTIONAL CONSTRUCTION METHODS.
- NAILING:**
- ROOF:**
ATTACH 7/16" OSB SHEATHING TO TRUSSES WITH:
8d NAILS @ 6" O.C. AT EDGES
8d NAILS @ 12" O.C. IN FIELD
- WALLS:**
ATTACH 3/8" SMARTSIDE TO WALL FRAMING WITH:
8d NAILS @ 6" O.C. AT EDGES
8d NAILS @ 12" O.C. IN FIELD
- HEADER:**
ATTACH HEADER TO STUD WITH:
4-8d TOENAIL OR 4-16d END NAIL DOUBLED HEADER-16d @ 16" STAGGERED FACE NAIL



3 HEADER DETAIL FOR NON-LOAD BEARING WALLS
SCALE: 1/4" = 1'-0"



- STEEL SHED FOUNDATION:
2" x 6"-16 GAUGE STEEL TRACKS G140 ZINC COATED @ 24" O.C.
(SUPPLIER: ALLED STUDIO JOISTS G140 ZINC COATED @ 24" O.C. 6001125-054) (ICC ESR-4943P)
 - 3/4" APA OR TECO RATED TONGUE AND GROOVE FLOOR DECKING. 24" MAX PANEL SPAN. STAGGER PANEL LAYOUT.
 - FASTEN FLOOR DECKING TO JOIST & TRACKS USING #3 x 1-5/8" MINIMUM LONG SELF-DRILLING SCREWS @ 12" O.C. NO BLOCKING REQUIRED. ALL EDGES SHALL LIE ON FLOOR JOISTS. STAGGER PANEL LAYOUT PER APA CONDITION 1.
 - FASTEN SOLE PLATE THROUGH FLOOR DECKING INTO JOISTS OR TRACKS WITH #8 x 3" GALVANIZED SELF-DRILLING SCREWS @ 24" O.C.
 - ALLOWABLE FLOOR LIVE LOAD: 75 PSF FOR STEEL JOISTS CONTINUOUSLY SUPPORTED. 50 PSF FOR JOISTS ON BLOCKS AS SHOWN.
 - USE OPTIONAL CONCRETE BLOCKS AS REQUIRED TO LEVEL BUILDING.
- SUGGESTED SIZES: 2" x 8" x 16", 4" x 8" x 16", OR 8" x 8" x 16". BLOCKS UNDER JOISTS SPACED @ 8'-0" O.C. MAXIMUM. BLOCKS UNDER TRACK SPACED @ 4'-0" O.C. MAXIMUM.

4 SHED BASE DETAIL
SCALE: 1/4" = 1'-0"

TUFF SHED Storage Buildings & Garages TUFF SHED, INC. 	Order #: H3813-69450 Customer: Bob Roth Site Address: 8068 Sagamore Dr Building Size: 12'W x 16'L x 9'H	P.O. # Drawn By: SJ Date: 5/1/17 Checked By: Date: Scale: N.T.S.	THESE DRAWINGS AND THE DESIGN ARE THE PROPERTY OF TUFF SHED, INC. THESE DRAWINGS ARE FOR A BUILDING TO BE SUPPLIED AND BUILT BY TUFF SHED. ANY OTHER USE IS FORBIDDEN BY TUFF SHED INC. & THE ENGINEER OF RECORD.	DRAWINGS BY: TUFF SHED, INC. IN HOUSE DRAFTING DEPARTMENT 1777 S. HARRISON STREET DENVER, COLORADO 80210 (303) 753-TUFF TUFF SHED INC. IS NOT RESPONSIBLE FOR THE CONTENT OF THESE DRAWINGS AND THE CONSTRUCTION OF THE BUILDING SHOWN HEREIN.	BUILDING SECTIONS SHED BASE DETAILS HEADER FRAMING DETAILS	DRAWING NO. TR/TRD700-01
				REV. LEVEL 01		
				SHEET 1		
				NOTES - 2015 IBC & IRC - 115C		PAGE 1 OF 1



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

BOARD OF ZONING APPEALS
MEETING NOTICE

WHEN: September 17, 2018 at 7:00 PM
WHERE: Amberley Village Municipal Building, 7149 Ridge Road
FROM: Scot Lahrmer, Village Manager

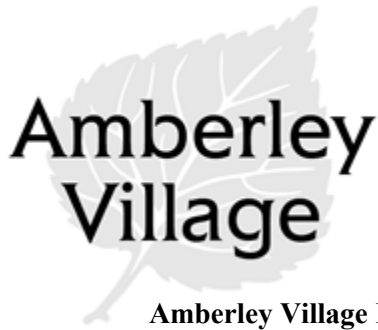
Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals **Monday, September 17, 2018** at 7:00 p.m. in the Council Chambers of the Amberley Village Municipal Building, 7149 Ridge Road. The public meeting will be held to review the following item:

Resident Stephen Moses is seeking a variance from Village Code Section 154.33 (A). The variance would allow a proposed attached garage addition on the back of the house to encroach approximately 3.5' into the required rear yard.

If you are interested in reviewing the application you may do so Monday through Friday, 8:00 a.m. to 4:00 p.m. at the Amberley Village Municipal Building, 7149 Ridge Road or you may attend the **September 17, 2018** Board of Zoning Appeals public meeting. If you should have any questions, please feel free to contact Scot Lahrmer at (513) 531-8675.

cc: Stephen Moses, 2191 Bluegrass Lane
Shneur Friedman & Ahuva Wainhaus, 2193 Bluegrass Lane
Michael & Pamela Heigh, 2189 Bluegrass Lane
Topicz Novelart Mfg. Co., P.O. Box 37191
Members of the Board of Zoning Appeals
Mayor Thomas C. Muething
Amberley Village Council Members
Scot F. Lahrmer, Village Manager
Kevin Frank, Wood & Lamping LLP
Village Posting Boards (5)
Cincinnati Enquirer

POSTED 09/07/2018



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

Amberley Village Board of Zoning Appeals Staff Report

September 17, 2018

Subject:

2191 Blue Grass Lane

Variance:

Rear Yard Setback

Item: Case#2018-30

Variance Request: Stephen Moses, property owner of 2191 Blue Grass Lane, is seeking a variance from Village Code Section 154.33 (A). The variance would allow a proposed attached garage on the back of the house to encroach approximately 3.5' into the required rear yard.

Zoning Code Review: 154.33 Required minimum lot area, lot width, yards, distances from lot lines and dwellings. All structures shall comply with at least the following minimum requirements:

(A) Lot area, lot width, and yards.

	Dwellings
Lot area	21,780 feet
Lot width	110 feet
Front yard depth	50 feet
Side yard width (each)	12 feet, or 10% of width, whichever is larger, but need not exceed 20 feet
Rear yard depth	40 feet, or 20% of depth, whichever is larger, but need not exceed 50 feet

Variance Review: Mr. Moses has submitted plans to construct a two car attached garage on the rear of his house, with the principal access facing north toward the side property line. The addition as proposed would encroach 3.5' into the required rear yard.

The property at 2191 Blue Grass Lane is in the Residence B Zoning District and the rear or the property borders an Industrial B District. The minimum required rear yard depth in Residence B is 40' or 20% of the lot depth, whichever is greater. The 40' minimum is the larger of the two in this case.

Mr. Moses' letter to the board states that the reason the garage exceeds the permitted distance is due to the turning radius of his car. Mr. Moses also mentioned in a phone conversation that the slope of his drive also prevents the garage doors from being moved closer to the back of the house.

A variance to code section 154.33 (A) is required for the garage addition to be constructed as proposed.

Project Recommendations: The project is recommended on its merit.

2191 Blue Grass Lane
Amberley Village, OH 45237
August 29, 2018

Amberley Village Board of Zoning Appeals
7149 Ridge Road
Amberley Village, OH 45237

To The Members of The Board of Zoning Appeals:

My name is Stephen Moses, and I reside at 2191 Blue Grass Lane.

I would like to build a garage behind my existing house, but the problem is that the plans have an insufficient set-back from the rear property line.

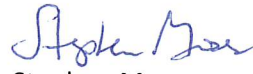
The reason that the garage exceeds the permitted distance is due to the turning radius of my car.

I would appreciate it if the Board would consider granting me a variance that would permit me to build the garage, even though I need an additional three and a half feet of set-back distance.

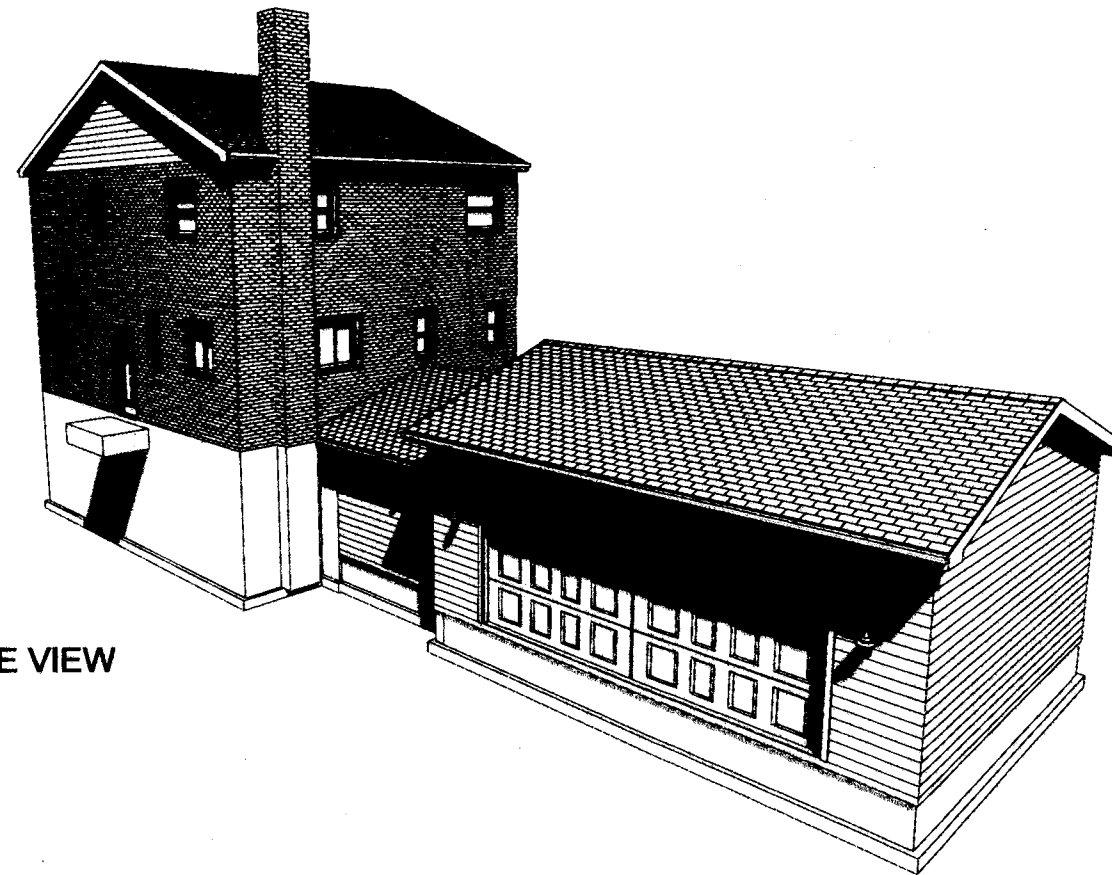
I would like to add, that the back of my property borders on the TOPICZ warehouse, a large commercial building. Thus, if the variance is approved, it will not cause a residential property to have lessened visual outlook.

I wish to thank the members of the Board for consideration of my request.

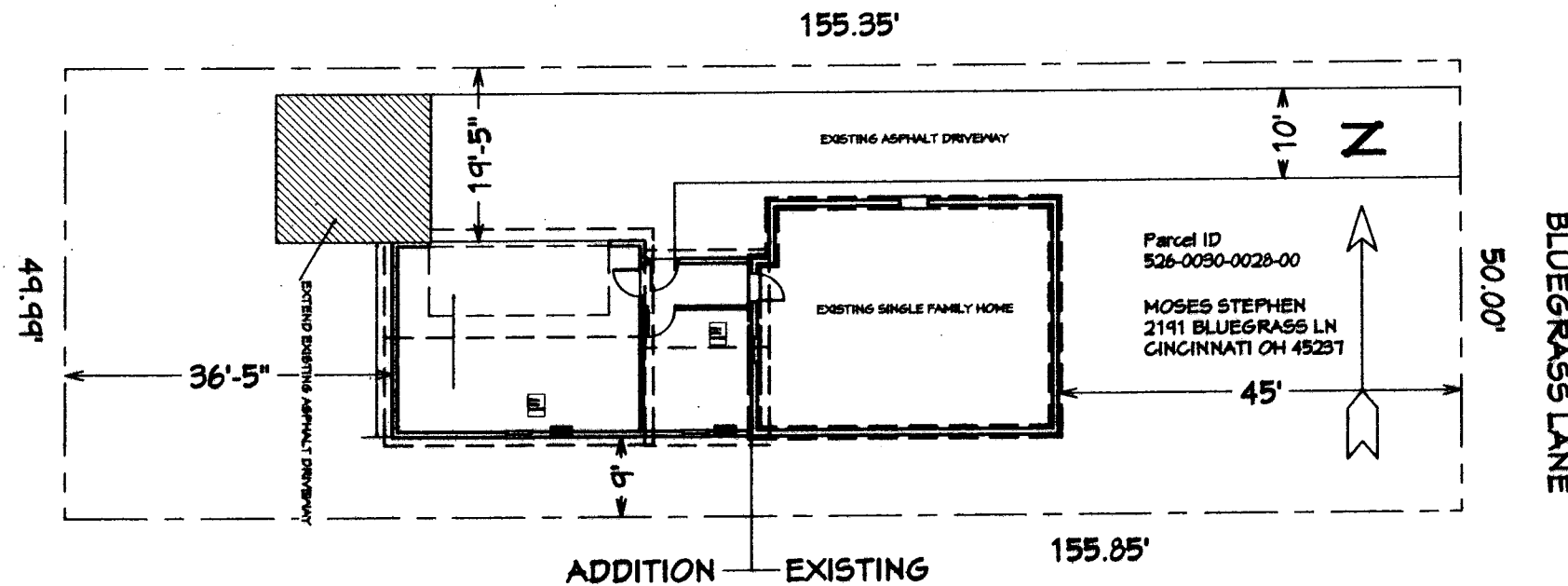
Sincerely,



Stephen Moses



PERSPECTIVE VIEW



SITE PLAN
SCALE: 1"=20'-0"

NO.	DESCRIPTION	BY	DATE

SITE PLAN

PROJECT DESCRIPTION:
GARAGE ADDITION
2141 BLUEGRASS LANE
CINCINNATI, OH 45237

DRAWINGS PROVIDED BY:
JIM GEORGE
(937)718-0842
JGEORGEDESIGNS@YAHOO.COM

DATE:

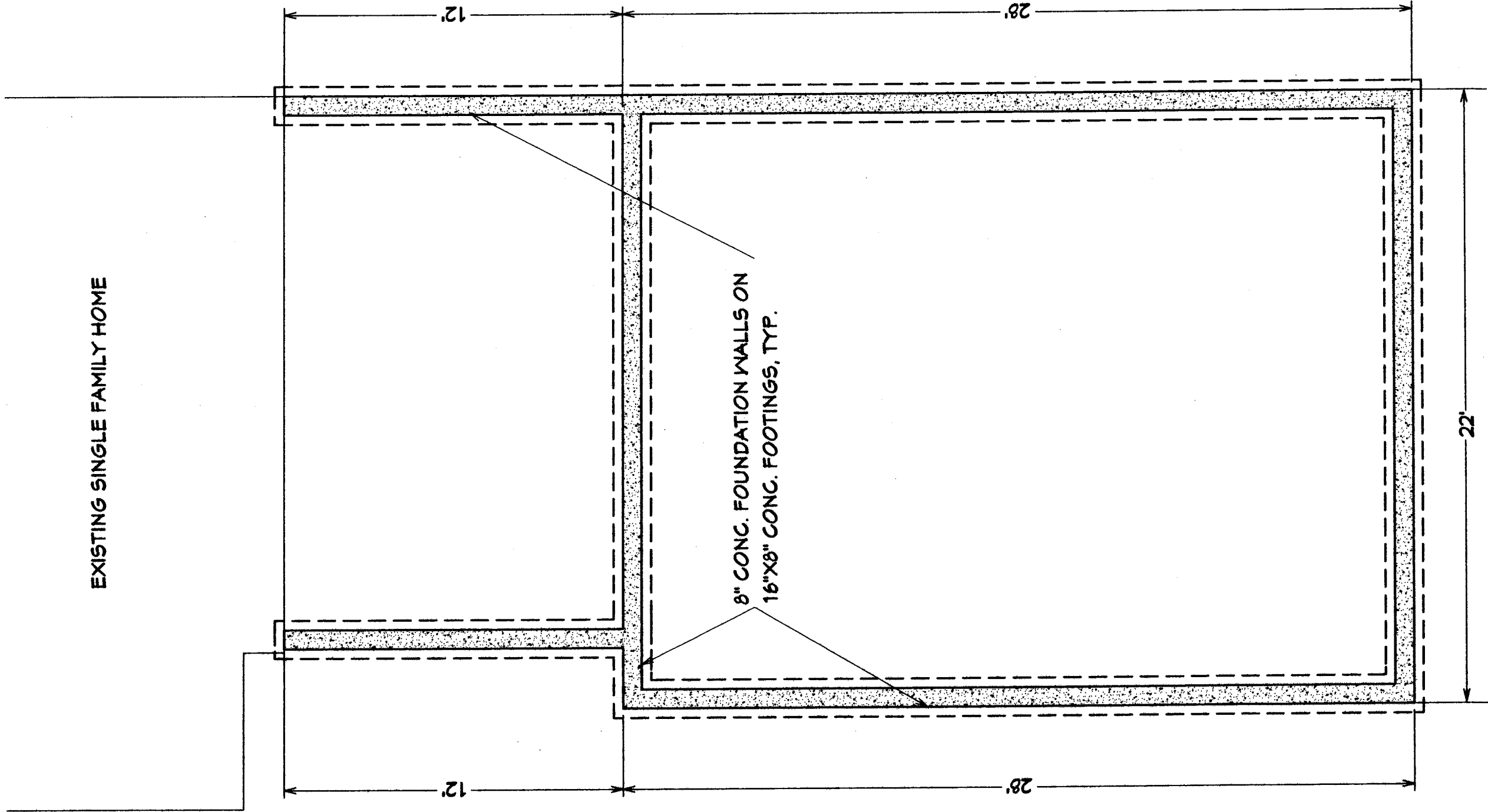
6/13/2018

SCALE:

NOTED

SHEET:

A-1



FOUNDATION PLANS
SCALE: 1/4"=1'-0"

EXISTING SINGLE FAMILY HOME

A-2

SHEET:

NOTED

SCALE:

6/13/2018

DATE:

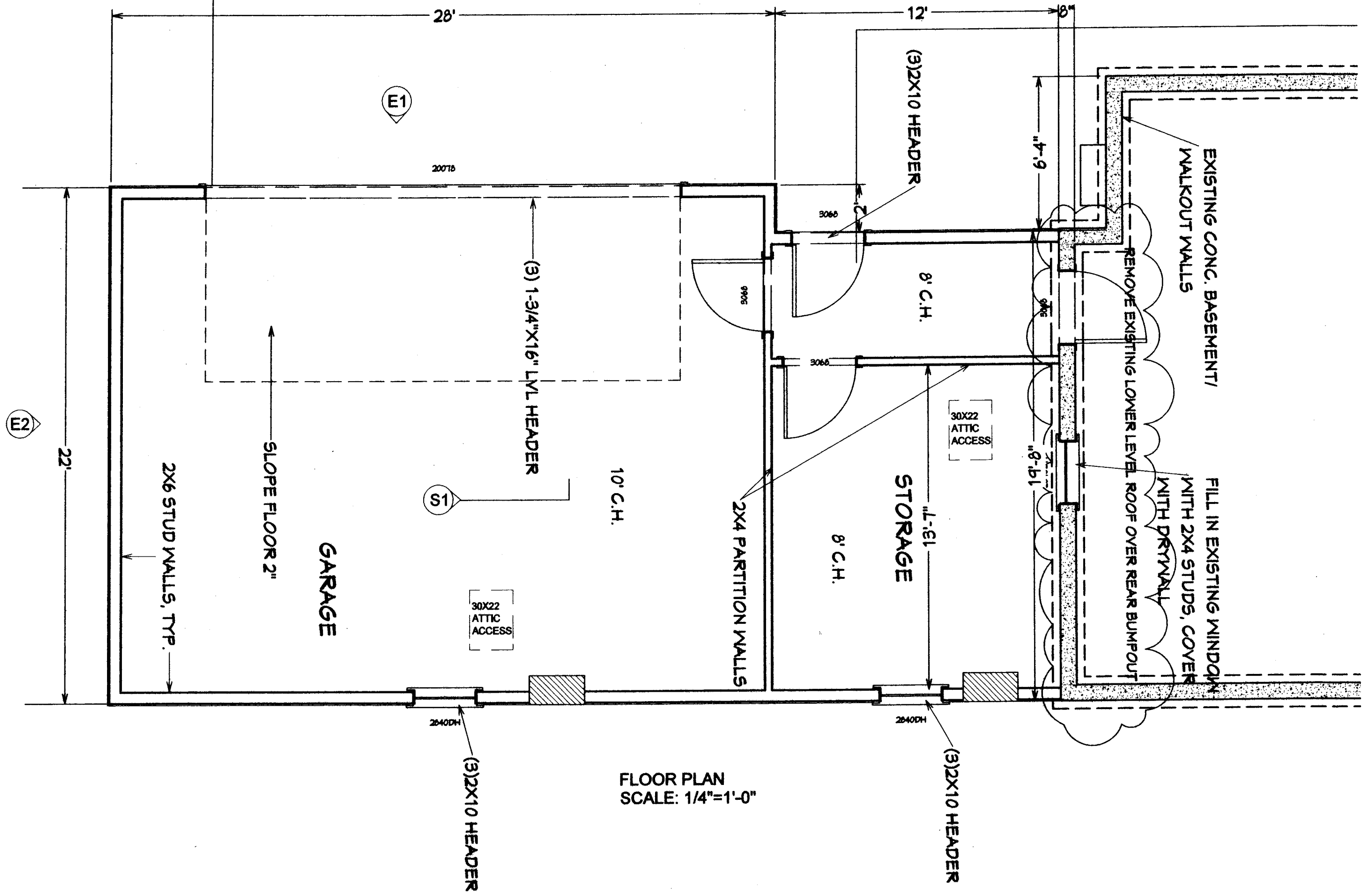
DRAWINGS PROVIDED BY:
JIM GEORGE
(937) 718-0842
JGEORGEDESIGNS@YAHOO.COM

PROJECT DESCRIPTION:
GARAGE ADDITION
2161 BLUEGRASS LANE
CINCINNATI, OH 45237

SHEET TITLE:

FOUNDATION PLAN

NO.	DESCRIPTION	BY	DATE



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
FLOOR PLAN

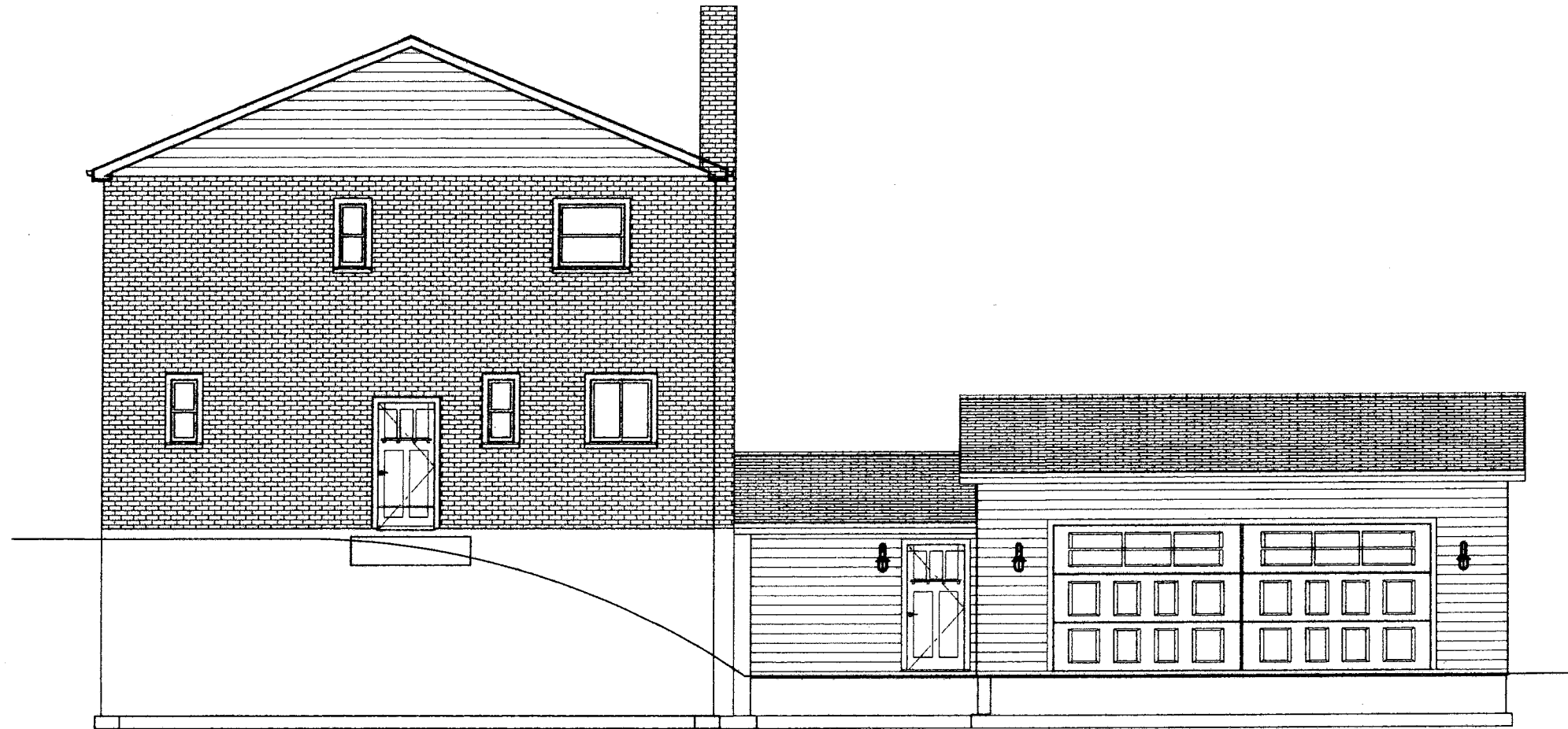
PROJECT DESCRIPTION:
GARAGE ADDITION
2181 BLUEGRASS LANE
CINCINNATI, OH 45237

DRAWINGS PROVIDED BY:
JIM GEORGE
(937) 718-0842
JGEORGEDESIGNS@YAHOO.COM

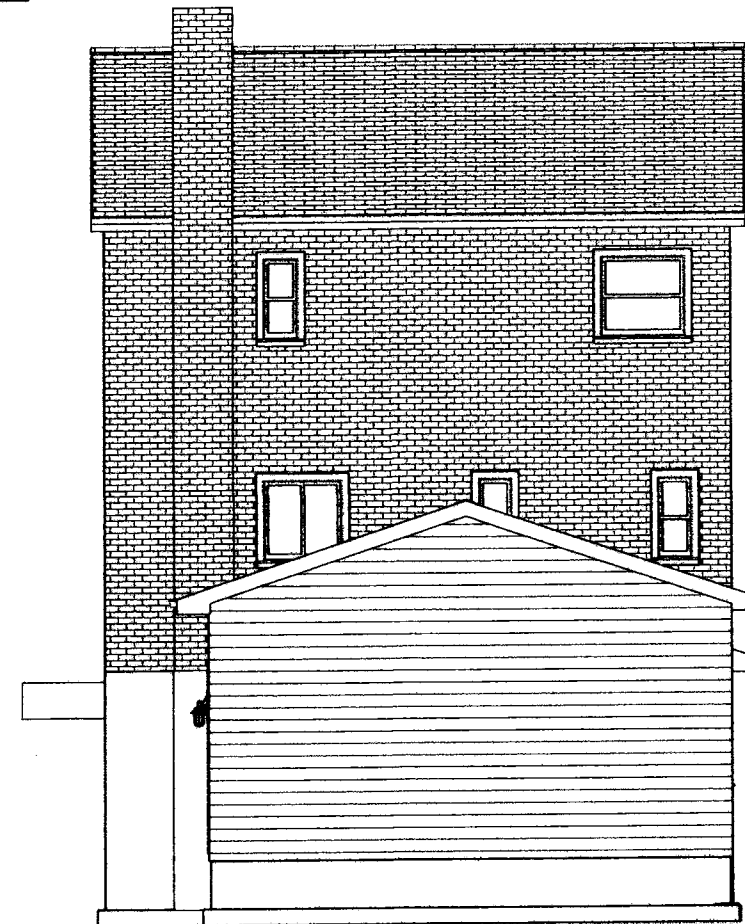
DATE:
6/13/2018

SCALE:
NOTED

SHEET:
A-3



NORTH ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATIONS

PROJECT DESCRIPTION:
GARAGE ADDITION
2191 BLUEGRASS LANE
CINCINNATI, OH 45237

DRAWINGS PROVIDED BY:
JIM GEORGE
(937)718-0842
JGEORGEDESIGNS@YAHOO.COM

DATE:

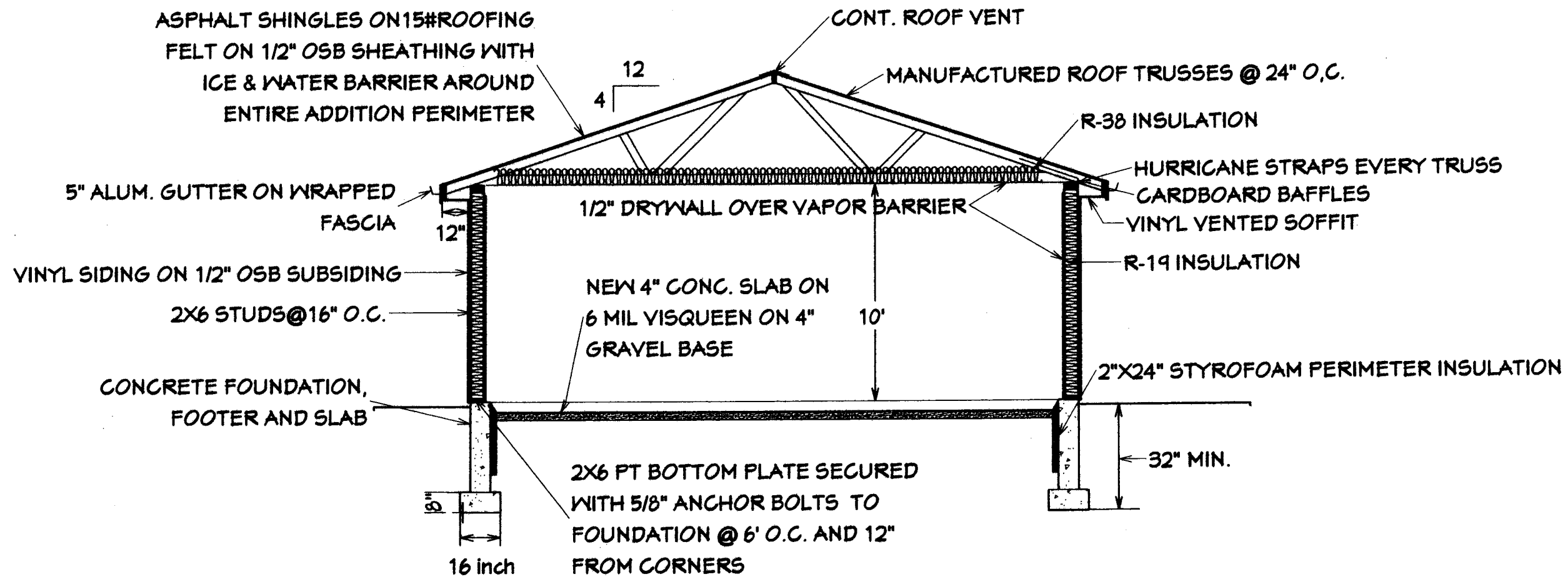
6/13/2018

SCALE:

NOTED

SHEET:

A-4



BUILDING SECTION
SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
BUILDING SECTION

PROJECT DESCRIPTION:
GARAGE ADDITION
2191 BLUEGRASS LANE
CINCINNATI, OH 45237

DRAWINGS PROVIDED BY:
JIM GEORGE
(937) 718-0842
JGEORGEDESIGNS@YAHOO.COM

DATE:

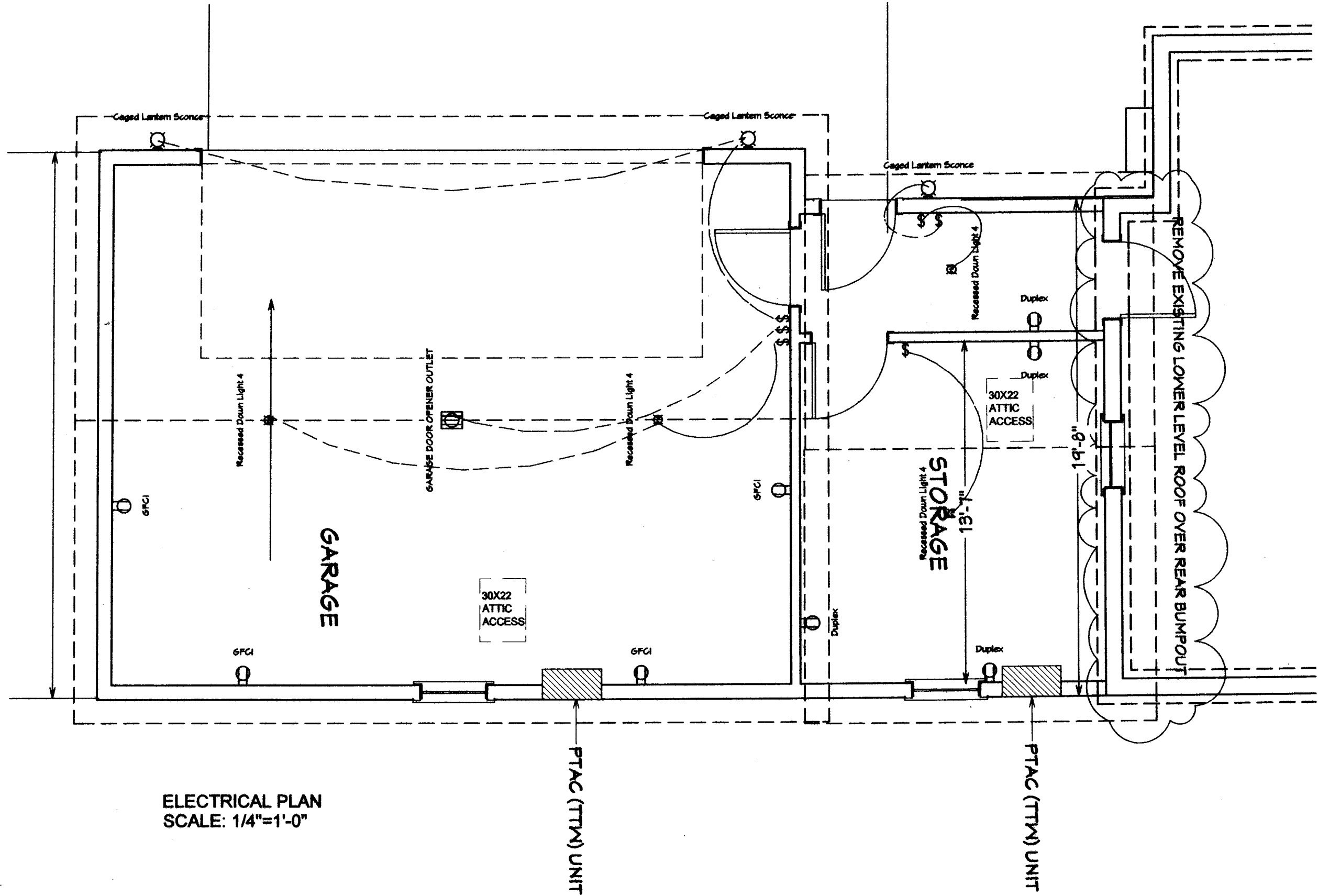
6/13/2018

SCALE:

NOTED

SHEET:

A-5



ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

NO.		DESCRIPTION	BY	DATE

SHEET TITLE:	
ELECT. PLAN	

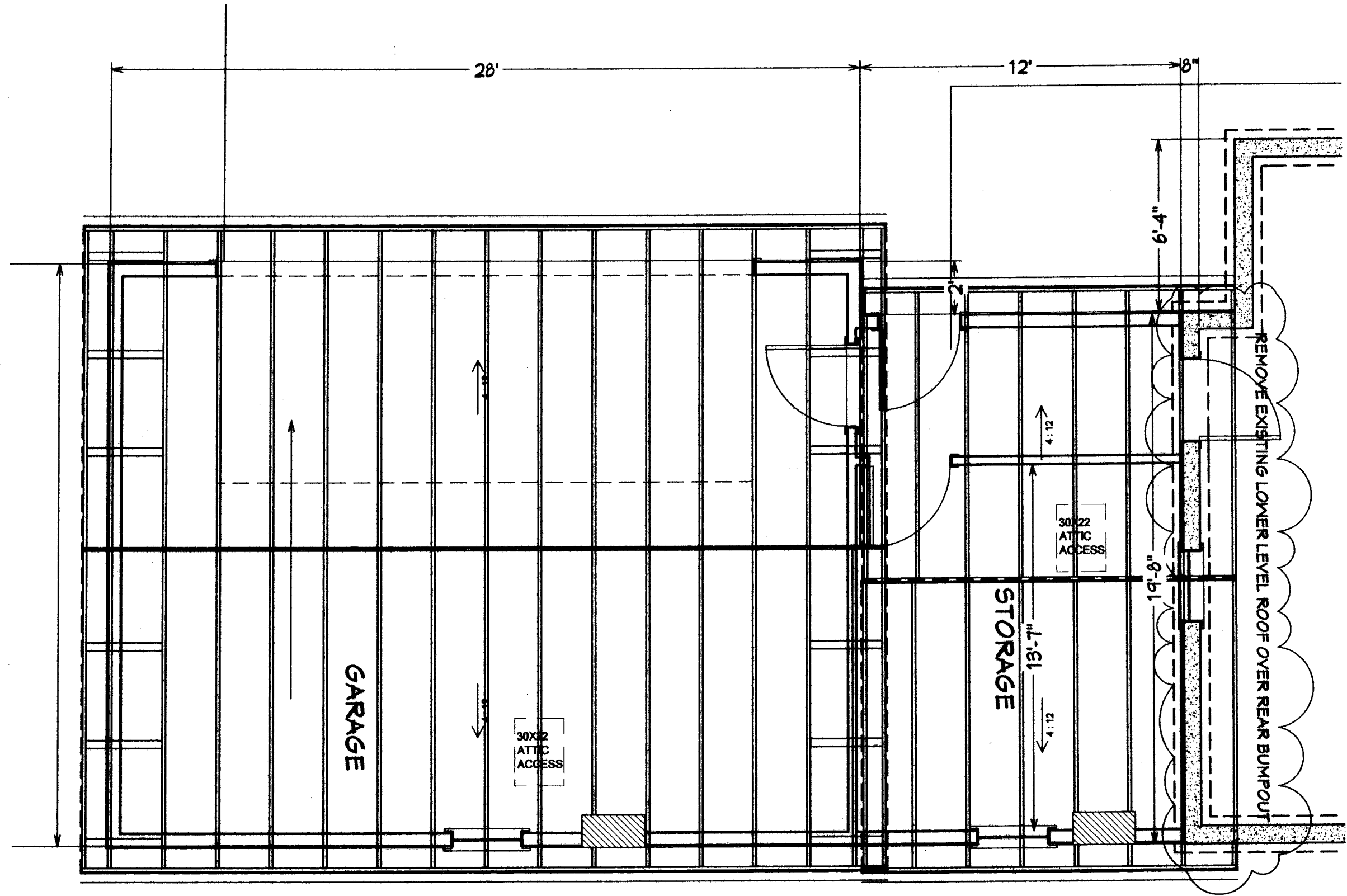
PROJECT DESCRIPTION:	
GARAGE ADDITION 2101 BLUEGRASS LANE CINCINNATI, OH 45237	

DRAWINGS PROVIDED BY:	
JIM GEORGE (937)718-0842 JGEORGEDESIGNS@YAHOO.COM	

DATE:
6/13/2018

SCALE:
NOTED

SHEET:
A-6



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**ROOF FRAMING
PLAN**

PROJECT DESCRIPTION:
GARAGE ADDITION
2161 BLUEGRASS LANE
CINCINNATI, OH 45237

DRAWINGS PROVIDED BY:
JIM GEORGE
(637)716-0842
JGEORGEDSIGN@YAHOO.COM

DATE:
6/13/2018

SCALE:
NOTED

SHEET:
A-7



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

BOARD OF ZONING APPEALS
MEETING NOTICE

WHEN: September 17, 2018 at 7:00 PM
WHERE: Amberley Village Municipal Building, 7149 Ridge Road
FROM: Scot Lahrmer, Village Manager

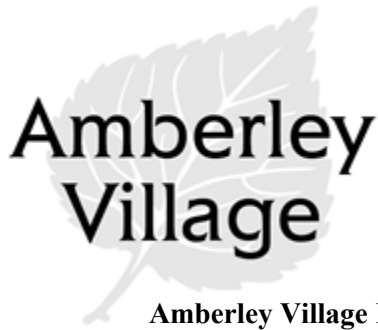
Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals **Monday, September 17, 2018** at 7:00 p.m. in the Council Chambers of the Amberley Village Municipal Building, 7149 Ridge Road. The public meeting will be held to review the following item:

Residents Rick and Melissa Lauer are seeking a variance from Village Code Section 154.12 (A). The variance would allow for a chicken coop and enclosure to be located in the front yard.

If you are interested in reviewing the application you may do so Monday through Friday, 8:00 a.m. to 4:00 p.m. at the Amberley Village Municipal Building, 7149 Ridge Road or you may attend the **September 17, 2018** Board of Zoning Appeals public meeting. If you should have any questions, please feel free to contact Scot Lahrmer at (513) 531-8675.

cc: Rick & Melissa Lauer, 6945 Fair Oaks Drive
James & Catherine Huey, 2470 Section Road
Lisa & Matthew Murtha, 2471 Brookwood Lane
Gloria Haffer, 7011 Fair Oaks Drive
Benjamin & Penina Teitelbaum, 6942 Fair Oaks Drive
Faigie Rosedale, 6835 Glen Acres Drive
Members of the Board of Zoning Appeals
Mayor Thomas C. Muething
Amberley Village Council Members
Scot F. Lahrmer, Village Manager
Kevin Frank, Wood & Lamping LLP
Village Posting Boards (5)
Cincinnati Enquirer

POSTED 09/07/2018



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

Amberley Village Board of Zoning Appeals Staff Report

September 17, 2018

Subject:

6945 Fair Oaks Drive

Variance:

Chicken coop and enclosure to be located in the front yard.

Item: Case#2018-31

Variance Request: Rick and Melissa Lauer, property owners of 6945 Fair Oaks Drive are requesting a variance from Zoning Code Section 154.12 (A). The variance would allow for a chicken coop and enclosure to be located in the front yard.

Zoning Code Review: 154.12 Accessory Structures. (A) No accessory structure shall be erected in any required front yard.

Variance Review: Mr. and Mrs. Lauer have recently purchased their home located on the corner of Fair Oaks Drive and Section Road. The house faces south toward Section Road but is a corner lot, therefore it has two front yards.

Mr. and Mrs. Lauer have submitted plans to locate their chicken coop and enclosure north of the house in the required front yard, on the Fair Oaks Drive frontage.

The letter to the Board explains the intention was to have the chicken coop in the northwest corner of the rear yard. The letter also explains that after spending time at their new home, they determined that this location was not the most suitable location because of the proximity to the neighbor's house to the north and the neighbor's dogs to the west.

Mr. and Mrs. Lauer believe the initial location would be tormenting to both the dogs and the chicken.

The proposed location would be 45' from the edge of Fair Oaks Drive (22' from the right of way line) and would move the chickens away from the neighbors and the dogs. The letter to the Board states this location would also allow for better care of the chickens and provide easier access to both water and electricity.

The Village code states that all chicken habitats are considered to be an accessory structure, must meet setback requirements and at least 50% of the habitat is to be screened from the street and neighboring properties. The proposed location is densely screened by landscaping on two sides from the street and not visible from the neighbor's properties.

The chicken coop and enclosure have been installed in the location where the variance is being requested.

Zoning Code, Section 154.12 (A) states that no accessory structure shall be erected in any required front yard, therefore a variance is required for the structure to be located as proposed.

Project Recommendations: The project is recommended on its merits.

Date: 8/20/2018

Mr. Scot F. Lahrmer
Village Manager
7149 Ridge Road
Cincinnati, OH 45237

RE: Zoning Approval - Variance

Dear Mr. Lahrmer:

I hereby request a zoning approval for:

A chicken coop. See attached letter.

hen house is 8'x4'x10' high, the Run is 8'x8'x4'
for a total dimension of 12'x8'

The structure is proposed at the following address:

6945 Fair Oaks Drive

I certify the attached plat and measurements are accurate.

Contractor's Name

Contractor's Address

Telephone Number

Sincerely,


Homeowner's Signature

Rick Lauer

Homeowner's Printed Name

513-324-9270

Telephone Number (daytime)

July 26, 2018

VIA EMAIL

Scot Lahrmer
Wes Brown
Amberley Village Administration
7149 Ridge Road
Amberley Village, OH 45237

Re: 6945 Fair Oaks Drive; Request for Variance

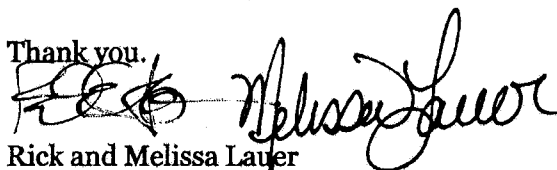
Dear Scot and Wes:

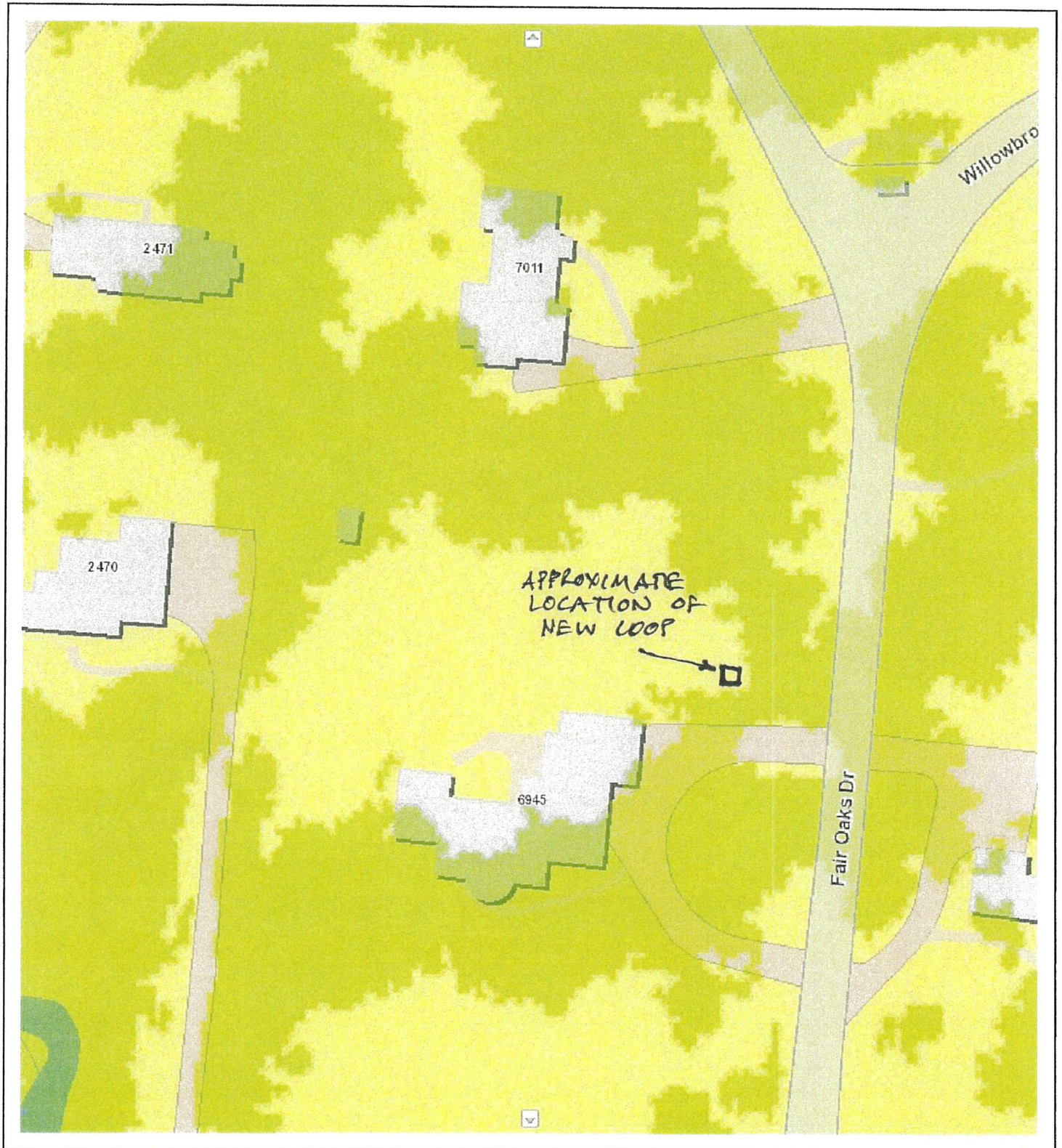
We are writing to request a variance from section 154.12 of the Village Code relating to accessory structures. The variance would allow us to place our chicken coop in the most desirable location relative to our new neighbors. Unfortunately, because the house is on a corner lot, the best location happens to be in the "required front yard" adjacent to Fair Oaks Drive. I believe we are in full compliance with all other aspects of the zoning ordinance including section 154.54 which specifically permits chicken coops.

We also want to apologize to you and the Board of Zoning Appeals for not filing this request in a more timely manner. When we bought the new home, we initially intended to place the coop in the rear of the yard near the existing shed. We did not believe that we would need a variance for that location. However, as we began to spend more time at the new house we realized that the initial location was not suitable for various reasons. Most importantly, the coop would be much closer to our neighbors and, in particular, our new neighbors to the west and their dogs. We are dog lovers, and we knew that placing the chicken coop within sight of the neighbor's dogs (who bark any time we walk in the back corner of the yard) would be tormenting for the dogs and the chickens. The new location also allows us to better care for the chickens because it provides much easier access to water and electricity.

The new location is shielded on two sides by dense landscaping and is not visible from the street or any neighboring property. The ground is flat and level in this area and it is close enough to the house to allow us to properly care for the birds. Again, we apologize for not making this request sooner, but we hope you and the Board will agree that we have selected the most appropriate location for the coop.

Thank you.


Rick and Melissa Lauer



6945 Fair Oaks



Hamilton County  Ohio

Printed: Jul 26, 2018 ©CAGIS

