

AGENDA

October 7, 2019

PLANNING COMMISSION/BOARD OF ZONING APPEALS

7:00 PM

Roll Call

Minutes

Meeting of July 1, 2019

Cases

CASE NO. 2019-1393

Peter and Mary Effler, property owners of 3100 Legacy Trace, are requesting a variance to Zoning Code 154.12 (4). The variance would allow for the construction of a 260 square foot accessory structure/pool house in the rear yard of their residence. The structure is proposed to be 60 square feet larger than the 200 square feet allowed by Village Code.

CASE NO. 2019-1444

Benjamin and Elisa Travis, property owners of 6820 Elbrook Avenue, are seeking a variance to Zoning Code Section 154.12 (2). The variance would allow for the construction of an accessory structure/shed in the rear yard with a 1' 8" side yard setback.

CASE NO. 2019-1455

~~Mare Fisher, the representative for the Jewish Community Center (JCC), is requesting an amendment to the existing Conditional Use Permit (CUP). The amendments would allow for the placement and use of a two-classroom modular building in the rear yard of the JCC campus located at 8485 Ridge Road. The proposed structure would be located in the rear of the building on the Ronald Reagan Highway side of the property, approximately 302' from the residential properties on Apple Ridge Lane.~~

The JCC has withdrawn its application to allow additional time to prepare.

New Business

Adjournment

**MINUTES OF THE REGULAR MEETING OF THE AMBERLEY VILLAGE BOARD OF
ZONING APPEALS/PLANNING COMMISSION
HELD AT THE AMBERLEY VILLAGE MUNICIPAL BUILDING**

MONDAY, JULY 1, 2019

Chairperson Richard Bardach called to order a regular meeting of the Amberley Village Board of Zoning Appeals/Planning Commission held at the Amberley Village Municipal Building on Monday, July 1, 2019 at 7:00 p.m.

Roll was called:

PRESENT:

Rich Bardach
Rick Lauer
Susan Rissover
Scott Wolf

ALSO PRESENT:

Kevin McDonough
Wes Brown
Tammy Reasoner

NOT PRESENT:

Scott Rubenstein
Scot Lahrmer

Chair Bardach welcomed everyone to the meeting and led those in attendance through the Pledge of Allegiance.

Chair Bardach asked if there were any corrections to the minutes of the May 6, 2019 meeting. There being none, the minutes were accepted as submitted.

CASE NO. 2019-1393

Chair Bardach introduced the application from Diann Harper, 3210 Patrisal Court, who is seeking a variance to Village Zoning Code Section 154.14 (A). The variance would allow for the construction of 110' of 6' high privacy fencing along the north of the property, bordering Ronald Reagan Highway.

Wes Brown, Zoning & Project Administrator for the Village, provided the staff report for the application. He read section 154.14 of the Amberley Village Code, which states that "fences, walls and hedges not exceeding four and a half feet in height may be permitted in any required side or rear yard along the edge of any yard," therefore a variance is required for the fence to be constructed as proposed.

He then read from the property owner's letter, which states that cars often stop near her back yard and can look directly onto her patio and into the back of her house. He said the letter also states that the fence is needed to reduce the traffic noise coming from the highway.

The requested variance is to allow for the entire property line to be fenced (110'), however, Ms. Harper is only proposing to install 68' at this time, with remainder of the fence being installed in the near future.

Ms. Harper introduced herself to members of the board, and stated that several years ago when ODOT put in the emergency lane on Ronald Reagan, the widest portion of Ronald Reagan

ended up at her property. She stated that police frequently stop drivers at her property as a safety measure, and distressed motorists often pull over there. She also stated that the noise from the highway is exceptionally loud.

Mr. Wolf asked if the materials proposed for the new fence were the same as stated in the petition. Ms. Harper responded that they were the same.

Ms. Rissover referring to the drawing of the existing chain link fence that was submitted with the variance request, and asked if it was the property of Hamilton County.

Ms. Harper answered in the affirmative. She further stated that she has previously petitioned ODOT regarding installation of a sound barrier, and said she was informed that sound walls can only be constructed with subsidy from the local community.

Ms. Harper stated that a nearby neighbor seemed to be having some success with negotiations regarding a sound barrier, as noise has reached a greater level.

Mr. Wolf told Ms. Harper to contact the Board if they could provide any support with the barrier.

Mr. Bardach asked staff if there had been any feedback from residents surrounding Ms. Harper's property. Staff replied there had not.

Ms. Rissover asked if there were any proposed changes to the chain link fence, as her understanding was that chain link fence has not been permitted as part of variances in the past.

Ms. Harper stated that there were no plans to modify the chain link fence as it belongs to the county.

Mr. Lauer stated that the property owner had adequately demonstrated hardship due to the location of the property right on the highway. He added that the Board has passed similar variances in the past, and moved to grant Ms. Harper's variance request. The motion was seconded by Ms. Rissover, and was passed unanimously.

NEW BUSINESS

There being no further business, the meeting was adjourned.

Tammy Reasoner, Clerk of Council

Richard Bardach, Chairperson



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

PLANNING COMMISSION
MEETING NOTICE

WHEN: October 7, 2019 at 7:00 PM

WHERE: Amberley Village Municipal Building, 7149 Ridge Road

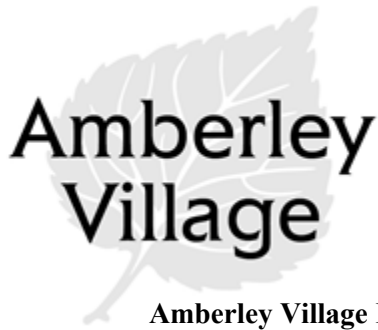
FROM: Scot Lahrmer, Village Manager

Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals Monday, October 7, 2019 at 7:00 p.m. in the Community Room of the Amberley Village Municipal Building, 7149 Ridge Road (Lower Level). Attendees should park in the back lot and enter through the rear of the building. The public meeting will be held to review the following item:

Peter and Mary Effler, property owners of 3100 Legacy Trace, are requesting a variance to Zoning Code 154.12 (D). The variance would allow for the construction of a 260 square foot accessory structure/pool house in the rear yard of their residence. The structure is proposed to be 60 square feet larger than the 200 square feet allowed by Village Code.

If you are interested in reviewing the application you may do so Monday through Friday, 8:00 a.m. to 4:00 p.m. at the Amberley Village Municipal Building, 7149 Ridge Road or you may attend the October 7, 2019 Board of Zoning Appeals public meeting. If you should have any questions, please feel free to contact Scot Lahrmer at 513-531-8675.

cc: Stacey A. Schimberg, 3055 Legacy Trace
Harvinder Singh, 3080 Legacy Trace
Gayle M. Warm, 3095 Legacy Trace
Anil Barri & Vallabhuni Madhuri, 3115 Legacy Trace
Jennifer Harris, 3120 Legacy Trace
Arlene H. & Bill E. Katz, 7570 French Park Place
Julie L. Duncan, 7560 French Park Place
Members of the Board of Zoning Appeals
Mayor Thomas C. Muething
Amberley Village Council Members
Scot F. Lahrmer, Village Manager
Kevin McDonough, Wood & Lamping LLP
Village Posting Boards (5)
Cincinnati Enquirer



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

Amberley Village Board of Zoning Appeals Staff Report

October 7, 2019

Subject:

3100 Legacy Trace

Variance:

260 square foot Accessory Structure

Item: Case#2019-1393

Variance Request: Peter and Mary Effler, property owners of 3100 Legacy Trace, are requesting a variance to Zoning Code 154.12 (4). The variance would allow for the construction of a 260 square foot accessory structure/pool house in the rear yard of their residence. The structure is proposed to be 60 square feet larger than the 200 square feet allowed by Village Code.

Zoning Code Review: 154.12 Accessory Structures. (4) Except as otherwise provided in the Zoning Code, individual enclosed accessory structures that are not open to the sky, either wholly or partially, such as sheds, garages, garden buildings, and pool houses, shall not cover a total of more than 200 square feet of floor area.

Variance Review: In an attempt to expand the use of their existing pool and rear yard, Peter and Mary Effler have applied for zoning approval to construct a detached pool house in the rear yard of their property located at 3100 Legacy Trace.

The pool house is designed to match the architectural look of the home and surrounding neighborhood. The letter to the board states that additional landscaping on two sides and a low 4/12 pitched roof is planned to minimize visual impact on the neighboring homes.

The letter also states that the design focuses the square footage on functional activities such as large amounts of storage capacity and bathrooms/changing facilities in addition to the bar area.

The pool house as proposed meets the required setbacks and height restrictions, however the structure is proposed to be approximately 260 square feet. Village Zoning Code Section 154.12 (4) states that except for garages, an accessory structure can not exceed 200 square feet in floor area, therefore a variance is required for the structure to be constructed as proposed.

Project Recommendations: The project is to be considered on its merits.

Date: 9.12.19

Mr. Scot F. Lahrmer
Village Manager
7149 Ridge Road
Cincinnati, OH 45237

RE: Zoning Approval

Dear Mr. Lahrmer:

I hereby request a zoning approval for:

VARIANCES REQUESTED FOR PROPOSED

REAR YARD POOLHOUSE

The structure is proposed at the following address:

3100 LEGACY TRACE

I certify the attached plat and measurements are accurate.

NEAL'S DESIGN - REMODEL
Contractor's Name

1110 EAST KEMPER RD
CINTI OHIO 45249
Contractor's Address

439.1100
Telephone Number

Sincerely,



Homeowner's Signature

PETER J. EFFLER
Homeowner's Printed Name

(513) 476-3206
Telephone Number (daytime)

To: Amberly Village Planning Commission and Board of Zoning Appeals
Re: Proposed Poolhouse Addition for the Effler Residence **9-12-19**

The following is a brief summation of the proposed poolhouse accessory structure addition for the residence at 3100 Legacy Trace and the design issues involved. References to Amberly Village's Code requirements for such a structure and reasons/pertinent information for granting our variance requests are addressed throughout the description below. The specific zoning in question is a dimensional variance request for setback encroachment for the rear property line and a square footage variance regarding overall maximum allowable square footage of an accessory structure

The proposed project is a result of Mary and Peter Effler's attempt to expand the use of their existing pool and rear yard. Their goal is to create a detached 257 square foot Poolhouse in the rear of the property next to the pool. The proposed structure would give them greatly increased storage capacity, bathroom / changing facilities for their children and grandchildren, and a bar area for all who utilize the pool. Mary and Peter started this process by contacting Neal's Design-Remodel for design and construction input. Our first step was to study the existing property / setback restrictions and meet with Mary and Peter for an initial assessment. We then looked to the site opportunities that were available to us in terms of an addition and determined that the best solution functionally speaking was to locate the poolhouse as close to the existing pool as possible (See Site plan A0-1). We proceeded to generate schematic plans and elevations, run initial cost estimates, and prepared the zoning / variance submittal you see before you. We feel that our finalized design addresses a variety of considerations in an effort to make the design work as successfully as possible for all parties impacted. We additionally feel that the addition is compatible with the intent of the Code for the following reasons:

1. We have designed the poolhouse addition to comply with the main home's architectural look as well as the surrounding neighborhood in terms of materials, details, colors, style, and aesthetics.
2. The poolhouse addition is adorned with new landscaping on two of it's sides (see sheet A7-1).
3. We have created minimal impact on adverse effects on fire, police, or other public services.
4. Our design utilizes a low 4/12 roof pitch on a one story structure thus minimizing visual impact on neighboring homes.
5. The garage addition adds economic benefit to the community by raising the net worth of the home thus increasing the tax valuation of the neighborhood in general.
6. The poolhouse focuses its square footage mostly on functional activities by providing the Efflers large amounts of storage capacity and bathroom / changing facilities in addition to the bar area.
7. The proposed addition covers only a relatively small % of the total rear yard. This new overall # of usable square footage is not excessive to surrounding homes in the community.

In conclusion, we wish to thank the Board for your time. Mary and Peter are hoping the improvements they wish to make are acceptable and look forward to the commencement of construction.

Sincerely,

Neal's Design – Remodel

NEAL'S DESIGN-REMODEL

7770 E. Kemper Rd
Cincinnati, OH 45249
513-489-7700
www.neals.com

OWNER/PROJECT
ADDRESS: PETER
& MARY EFFLER
200 LEXINGTON TRACE
CINT, OH 45231
314-8180

EFFLER ADDITION

© 2015 Neal's Design-Remodel
All working, intermediary and finished
drawings are the property of Neal's
Construction Company, Inc. and shall
not be duplicated or used without the
written consent of Neal's Construction
Company Inc.

REVISION DATES:

ISSUE DATE: 9.1.19

SCALE: 1/2" = 1'-0"

DRAWING TITLE

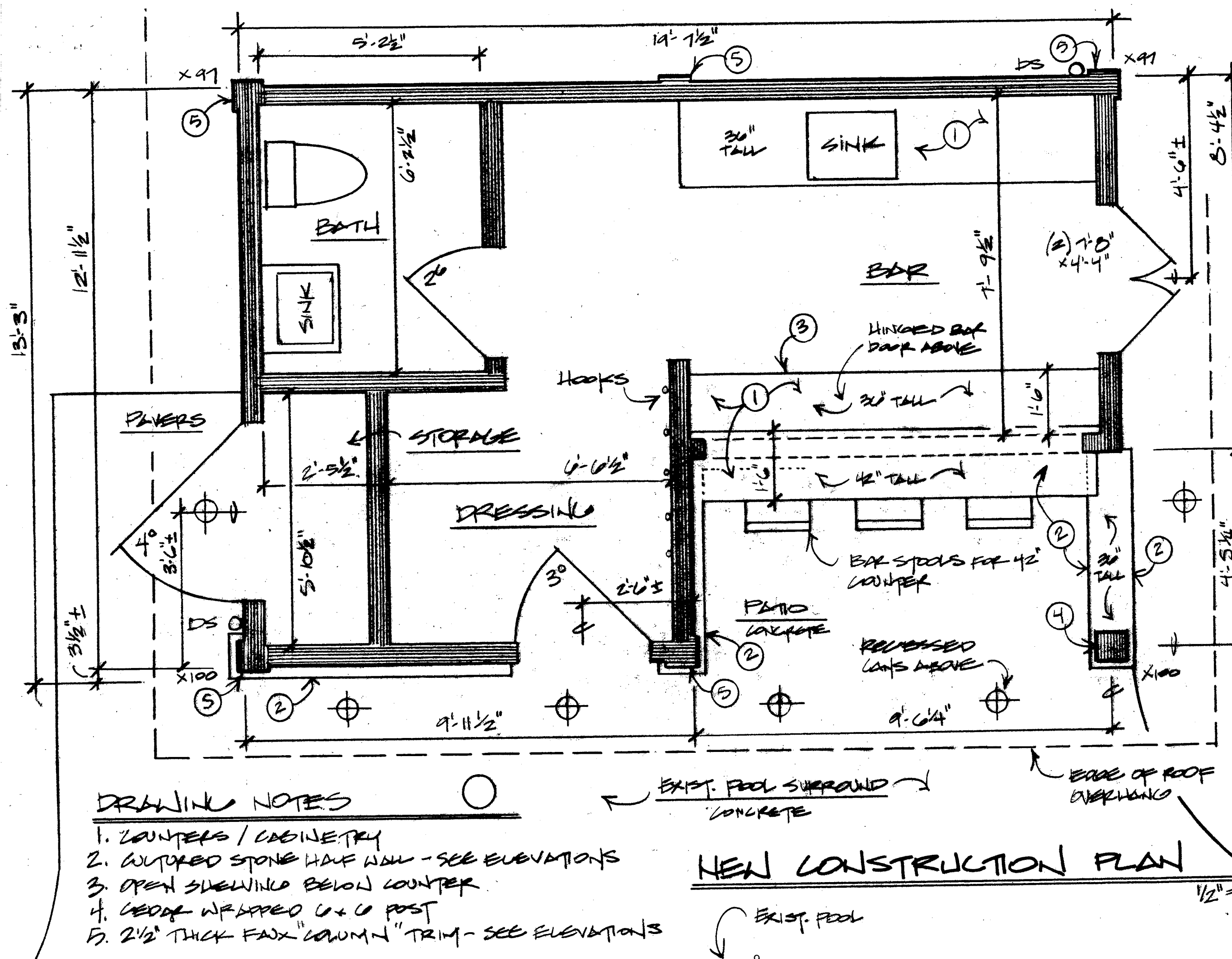
NEW CONSTRUCTION
PLAN

TEAM: FK, DE, BV

JOB NO:

SHEET NO:

A1-1

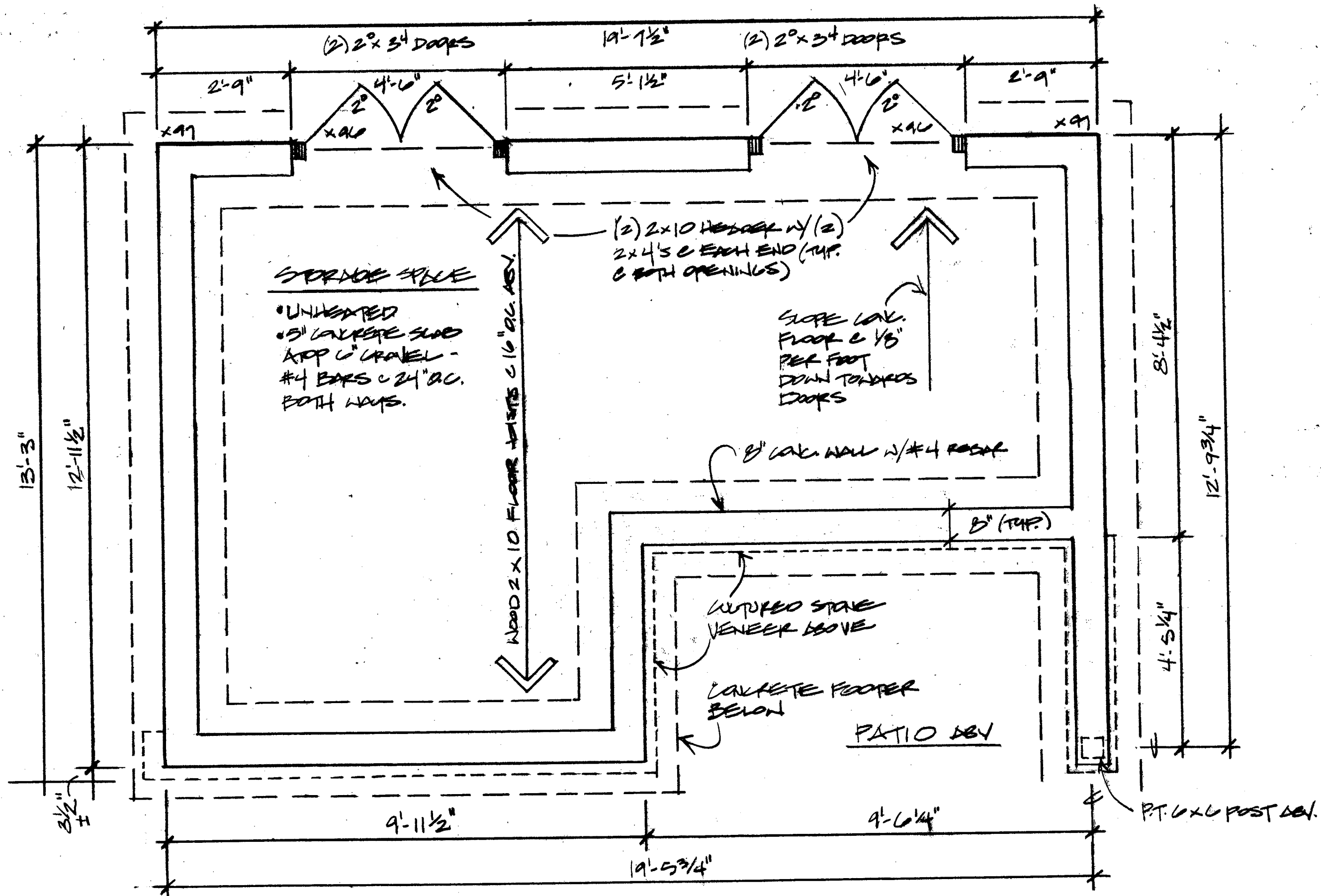


DRAWING NOTES

1. COUNTERTOPS / CABINETRY
2. CURVED STONE HALF WALL - SEE ELEVATIONS
3. OPEN SHELVING BELOW COUNTER
4. CEDAR WRAPPED 6x6 POST
5. 2 1/2" THICK FAUX "COLUMN" TRIM - SEE ELEVATIONS

NEW CONSTRUCTION PLAN

EXIST. POOL



NEAL'S DESIGN-REMODEL

7770 E. Kemper Rd
 Cincinnati, OH 45249
 513-489-7700
 www.neals.com

OWNER/PROJECT
 ADDRESS: PETER
 & MARY EFFLER
 5100 LEBACH TRAIL
 CINT. OHIO 45237
 513-8780

EFFLER ADDITION

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REVISION DATES:

ISSUE DATE: 9.1.19

SCALE: 1/2" = 1'-0"

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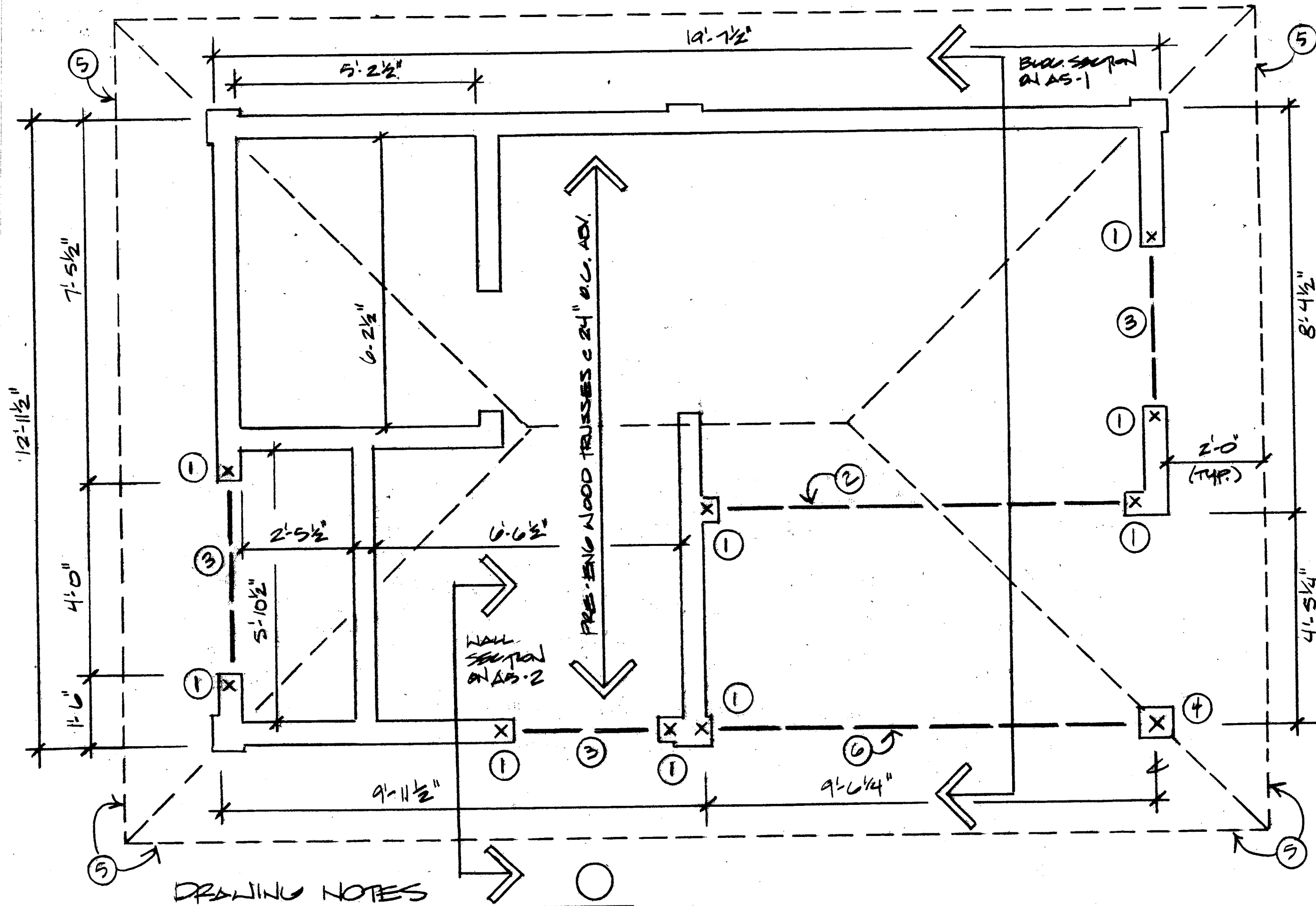
FOUNDATION
 PLAN

TEAM: PK, DS, EV

JOB NO:

SHEET NO:

A1-2



DRAWING NOTES

- | | |
|-------------------------------|--------------------------------|
| 1. (2) 2x4s | 4. P.T. 6x6 POST |
| 2. (2) 7/4"x13/4" LVL'S ABOVE | 5. EDGE OF ROOF ABOVE |
| 3. (2) 2x10 HEADER ABOVE | 6. (2) 9 1/4"x13/4" LVL'S ABV. |

FRAMING PLAN

1/2" = 1'

NEAL'S
DESIGN-REMODEL

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www.neals.com

OWNER / PROJECT
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CINTI, OHIO 45231
317-3780

EFFLER
ADDITION

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REVISION DATES:

ISSUE DATE: 9.1.19

SCALE: 1/2" = 1'-0"

DRAWING TITLE

FRAMING
PLAN

TEAM: FK, DE, BV

JOB NO:

SHEET NO:

A1-3

DRAWING NOTES

1. THE NEW DRAINPOINTS TO EXIST HOUSE DRAINAGE SYSTEM.
2. GRADE TO FALL 6" IN 10' (TYPICAL) MIN. FROM BUILDING (3:1 MAX)
3. CONT. 6X6 P.T. POST
4. COLOURED STONE VENEER
5. CONCRETE (POURED)
6. CONT. RIDGE VENT / SHINGLES TO MATCH EX. HOUSE
7. CEMENT-FIBER VERTICAL SIDING
8. GREY GRANITE COUNTERTOP

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www.neals.com

OWNER / PROJECT
ADDRESS: PETER &
MARY EFFLER
300 LEXINGTON TRAIL
CINT, OHIO 43291
311-8780

EFFLER
ADDITION

PRELIMINARY DESIGN DATES)

AGREEMENT DATE 9.1.19

REVISION DATES)

SCALE 1/4" = 1'-0"

DRAWING TITLE

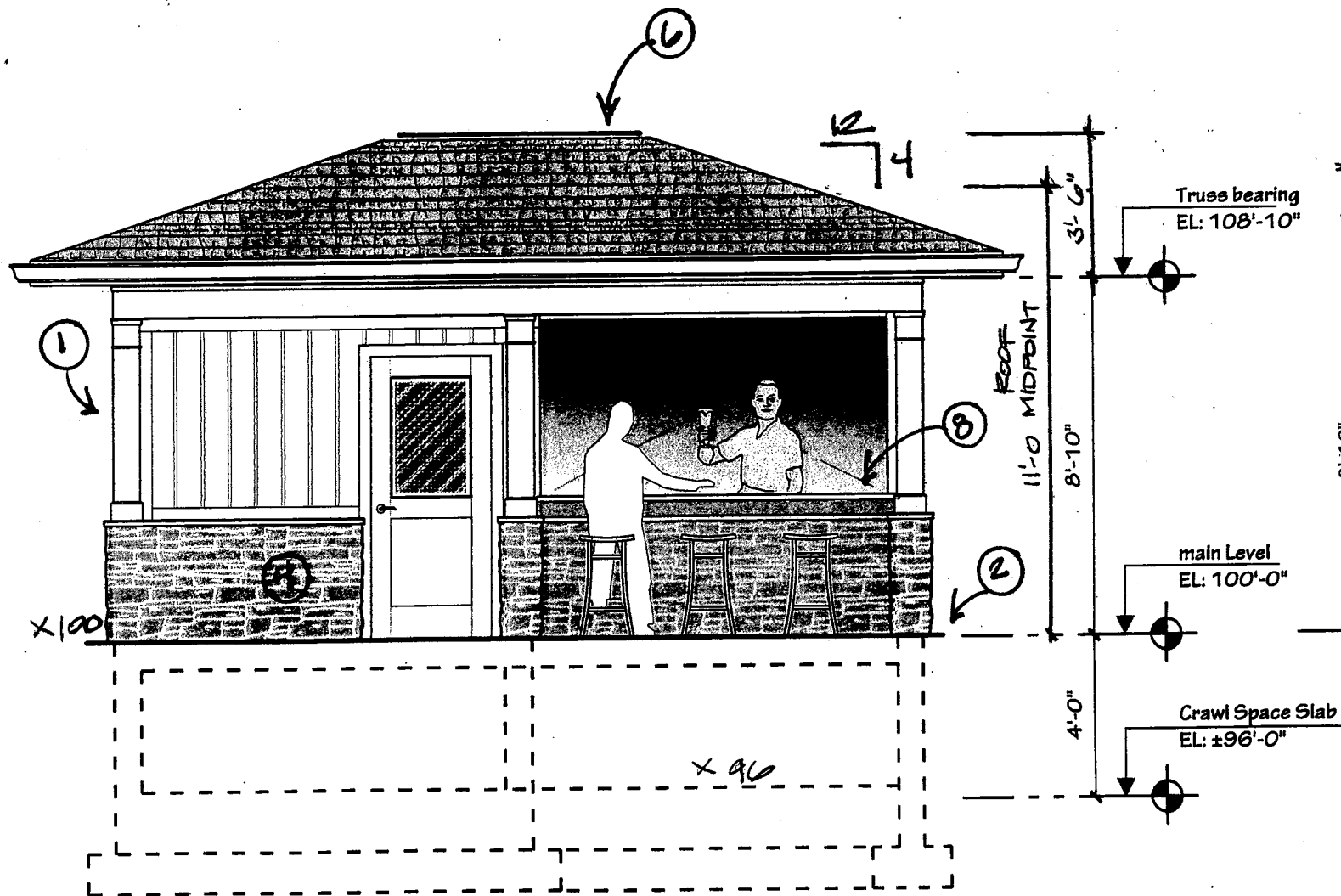
ELEVATIONS

TEAM FK.DE.BY

JOB NO.

SHEET NO.

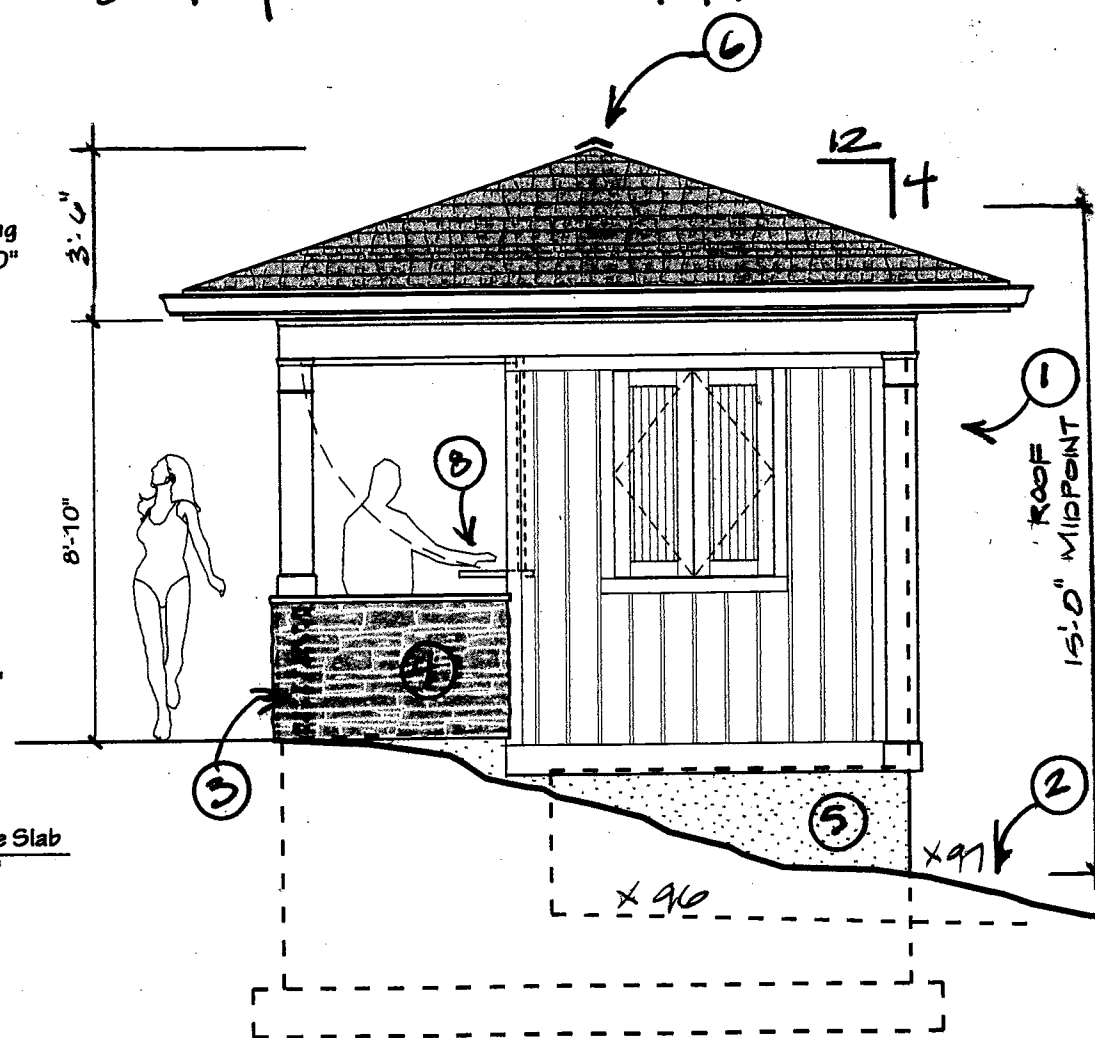
A2-1



VIEW FROM POOL DECK -
WEST ELEVATION

A
A.2

SCALE: 1/4" = 1'-0"



VIEW FROM HOUSE -
SOUTH ELEVATION

B
A.2

SCALE: 1/4" = 1'-0"

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ADDRESS: PETER &
MARY EFFLER
300 LORAIN TRACE
CINT, OHIO 45237
317-8180

EFFLER ADDITION

PRELIMINARY DESIGN DATE(S)

AGREEMENT DATE 9.1.19

REVISION DATE(S)

SCALE 1/4" = 1'-0"

DRAWING TITLE

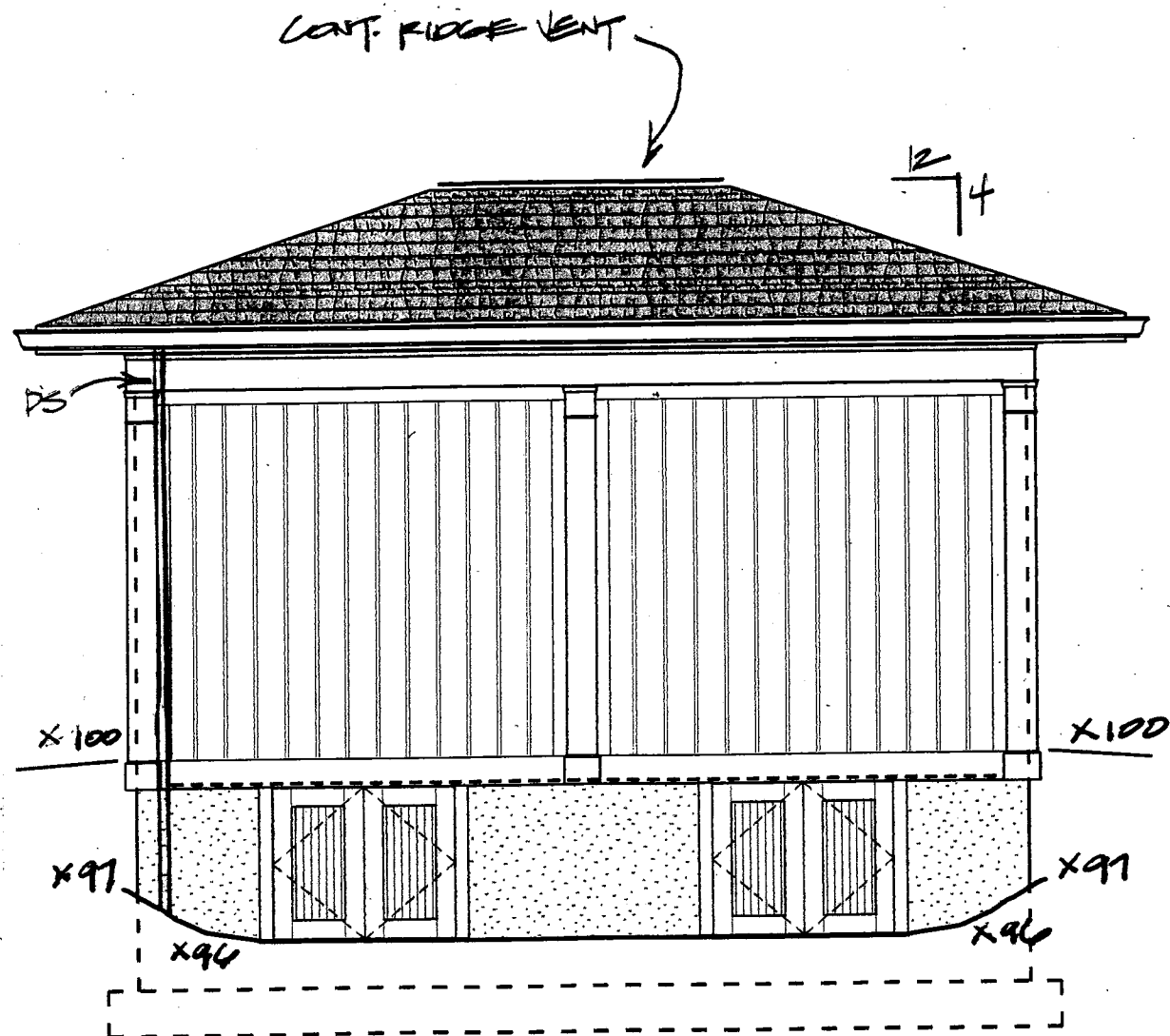
ELEVATIONS

TEAM PK.DE.EV

JOB NO.

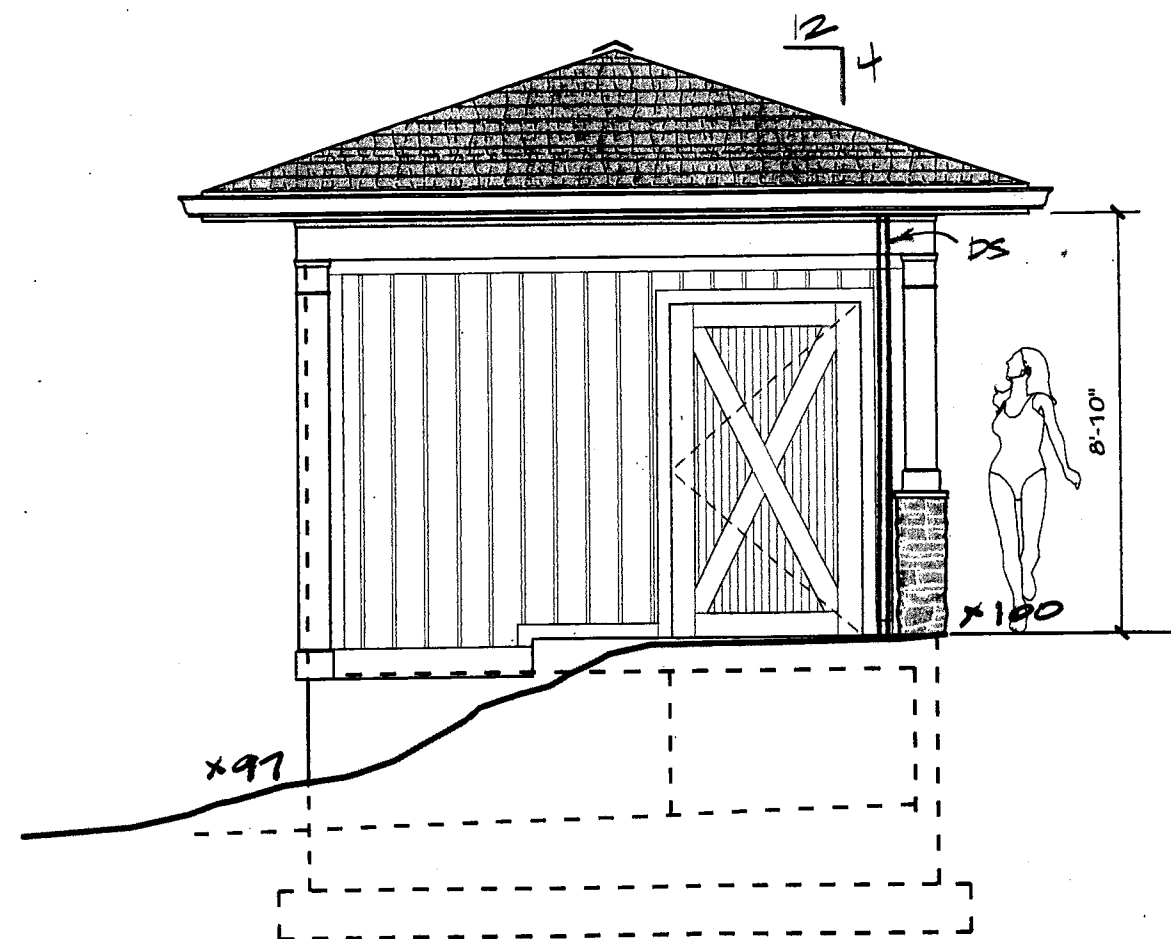
SHEET NO.

A2-2



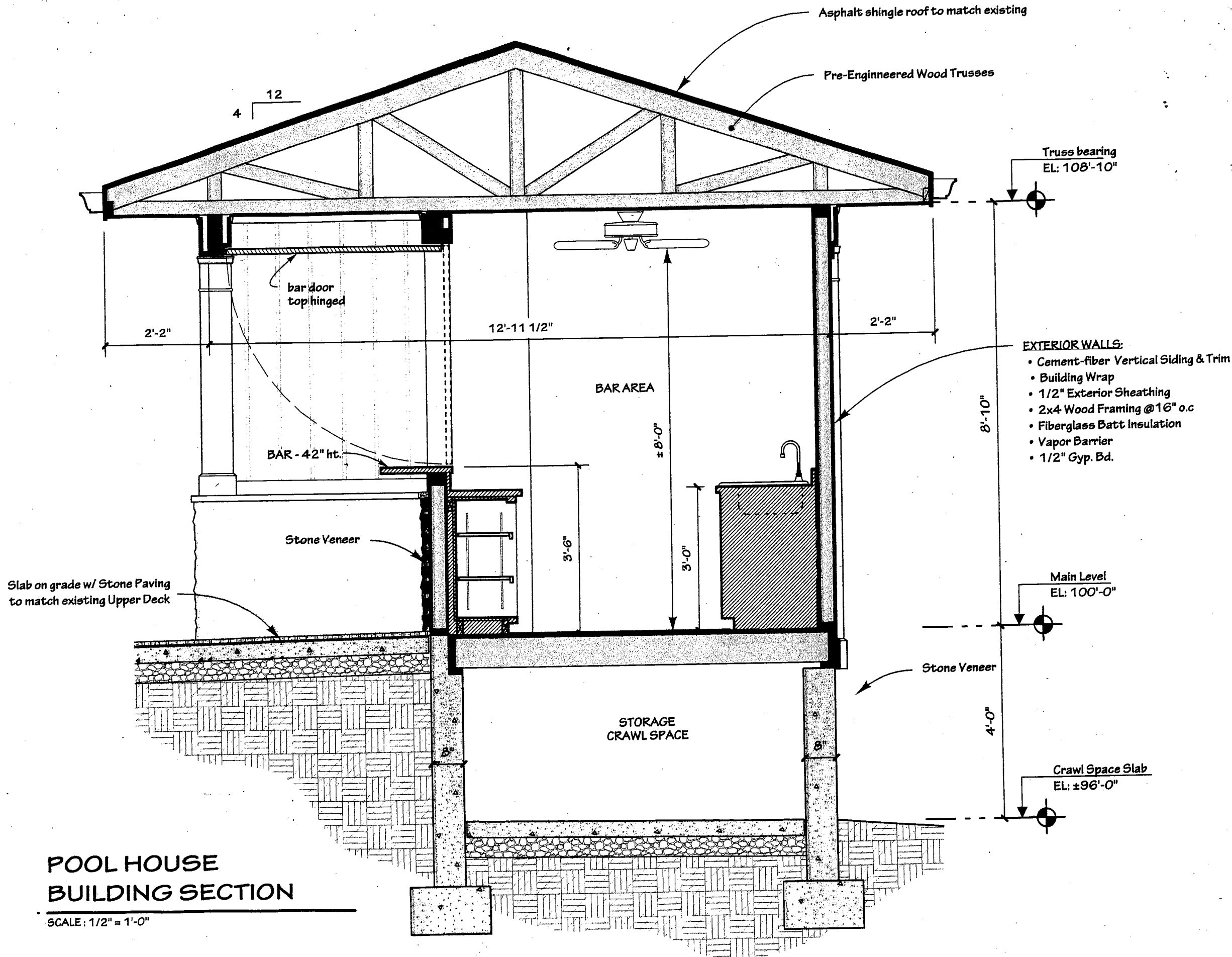
VIEW FROM SIDE YARD -
EAST ELEVATION

SCALE: 1/4" = 1'-0"



VIEW FROM REAR YARD -
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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300 LEGACY TRACE
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317-8780

EFFLER ADDITION

PRELIMINARY DESIGN DATES)

AGREEMENT DATE 9.1.19

REVISION DATES)

SCALE 1/2" = 1'-0"

DRAWING TITLE

BUILDING SECTION

TEAM FK, DE, BV

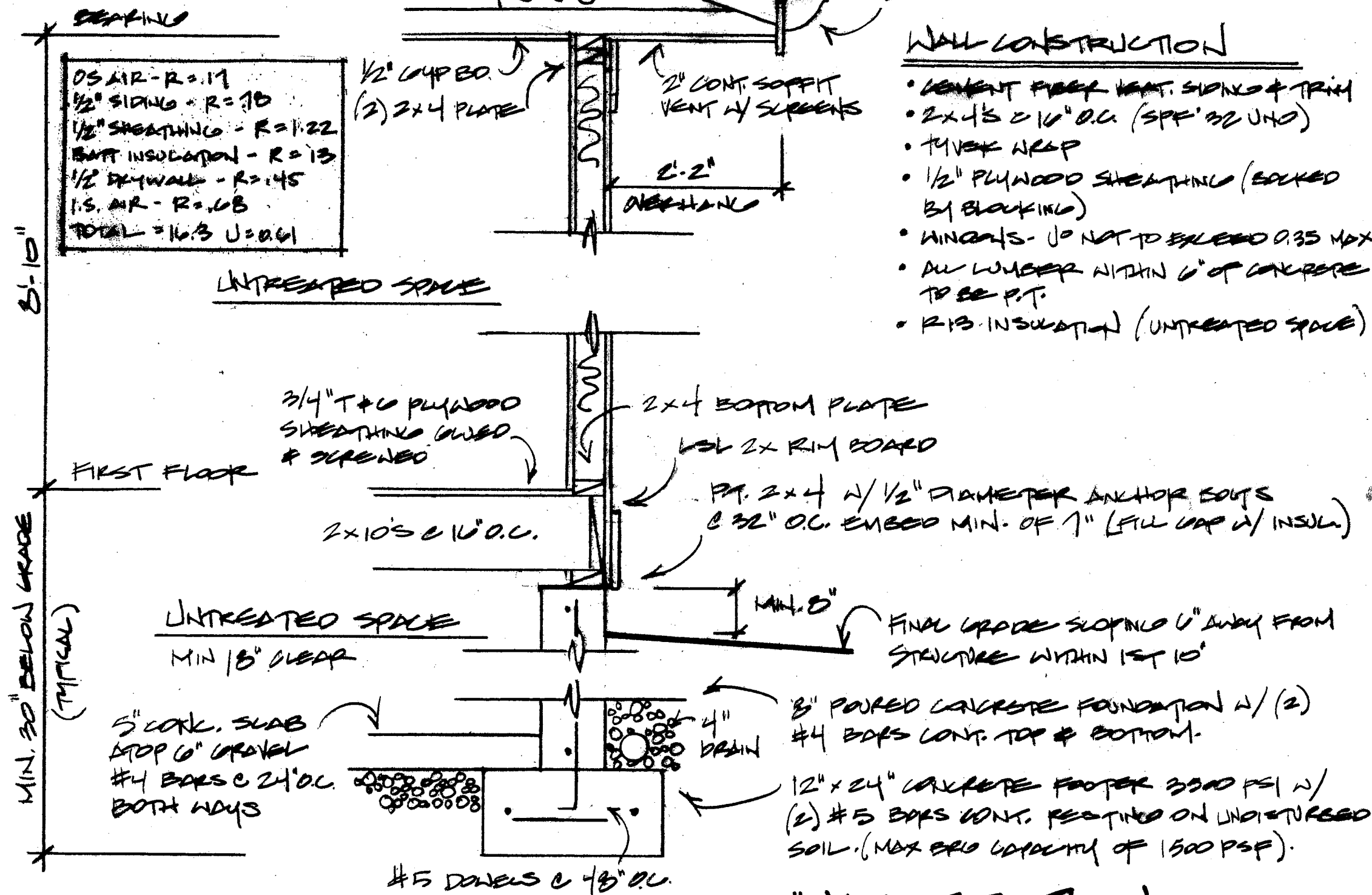
JOB NO.

SHEET NO.

A5-1

240 FIREGLASS SHINGLES ON #15 FELT OVER 1/2" PLYWOOD W/ ALUM. CLIPS. PRE-ENG. WOOD TRUSSES @ 24" O.C. FASTENED TO RESIST UPLIFT FORCES NEVER LESS THAN 175 LBS. OR LESS THAN SPECIFIED BY ENGINEER.

STILL AIR - R=1.01
BATT INSUL - R=3.8
2" AIR SPACE - R=4.5
TOTAL 39.67 U=0.13



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317-8760

EFFLER
ADDITION

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REVISION DATES:

ISSUE DATE: 9.1.19

SCALE: 3/4" = 1'-0"

DRAWING TITLE

SECTIONS/DETAILS

TEAM: FK, DE, BV

JOB NO:

SHEET NO:

AS-2

GENERAL CONDITIONS/CONSTRUCTION NOTES:

- 1) EXISTING CONDITIONS ARE SHOWN FOR REFERENCE ONLY. EACH CONTRACTOR AND HIS AGENTS SHALL VERIFY THAT THE CAPACITY OF THE EXISTING ELECTRICAL, PLUMBING, HVAC, AND STRUCTURAL SYSTEMS ARE SUFFICIENT FOR THE PROPOSED CHANGES. DRAWINGS ARE NOT INTENDED TO UPGRADE ANY EXISTING CONDITIONS NOT CALLED FOR ON THE PLANS.
- 2) ALL ERRORS, OMISSIONS, AND INCONSISTENCIES NOTED BY THE SUB-CONTRACTORS ARE TO BE REPORTED TO THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH THE WORK. EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS / DIMENSIONS.
- 3) CONTRACTOR SHALL PROPERLY BRACE THE BUILDING STRUCTURE AS NECESSARY TO MAINTAIN CONTINUOUS STABILITY UNTIL ALL BRACING MEMBERS ARE COMPLETELY SECURED AND THE STRUCTURAL SYSTEMS FUNCTIONING AS A DESIGNED UNIT.
- 4) ALL SUB-CONTRACTORS WILL BE SOLELY RESPONSIBLE TO THE GENERAL CONTRACTOR REGARDING CONDITIONS OF THE SITE INCLUDING SAFETY AND PROPERTY DURING THE PERFORMANCE OF THE WORK. ALL GENERAL CONSTRUCTION, ELECTRICAL, MECHANICAL, AND PLUMBING TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL BUILDING CODES, SAFETY REGULATIONS, AND LOCAL GOVERNMENT AGENCIES.
- 5) SCALE OR FIGURE DIMENSIONS ON THE DRAWINGS / DETAILS SHOW THE CORRECT SIZE UNDER IDEAL CONDITIONS. VERIFY ALL EXISTING AND LISTED DIMENSIONS BEFORE PROCEEDING WITH THE WORK. EXTERIOR WALL DIMENSIONS ARE TO THE FACE OF WALL SHEATHING OR FOUNDATION WALL. INTERIOR WALLS ARE TO FACE OF STUD FRAMING AND ARE 2X4 STUDS FOR WALLS 8'-9" TALL AND 2X6 FOR WALLS EXCEEDING 9' IN HEIGHT UNLESS OTHERWISE SPECIFIED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 6) ANY CHANGES FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7) PRIOR TO EXCAVATION CONTACT ALL APPLICABLE AGENCIES FOR VERIFICATION OF LOCATION OF UNDERGROUND SERVICES. MAKE ALL REQUIRED CONNECTIONS TO PUBLIC GAS, WATER, AND SANITARY SEWER AS REQUIRED BY LOCAL MUNICIPALITY.
- 8) CONNECT ALL NEW DOWNSPOUTS / GUTTERS TO EXISTING DRAINAGE SYSTEM WHENEVER FEASIBLE.
- 9) ALL PRODUCTS AND MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- 10) ALL WALLS AND CEILINGS TO HAVE A MINIMUM OF 1/2" GYPSUM BOARD AT ALL FINISH AREAS UNLESS NOTED OTHERWISE.
- 11) INSTALL METAL FLASHING AT ALL ROOF VALLEY AND ALL ROOF / WALL INTERSECTIONS.
- 12) MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, FEES, AND APPROVALS NECESSARY TO INSTALL ANY WORK REQUIRED. SITE ADAPTATION OF ALL ENVIRONMENTAL SYSTEMS MAY VARY PER THE LOCATION OF EXISTING POWER AND WATER MAINS. BALANCE ENTIRE HVAC SYSTEM TO DISTRIBUTE SUPPLY AIR EVENLY THROUGH HOME UPON COMPLETION OF ANY ADDITIONAL WORK.

DETECTORS:

- 1) SMOKE DETECTORS SHALL BE INSTALLED PER IFC SECTION 314 AND IN ACCORDANCE WITH UL217 AND INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CODE AND HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA72. ON EACH LEVEL WITHIN THE DWELLING UNIT SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SEPARATE OR DUAL-SENSING SMOKE DETECTORS MAY BE USED. A SMOKE ALARM LOCATED IN ACCORDANCE WITH SECTION 314.3(2) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. SMOKE ALARMS MAY BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY, AND ON EACH ADDITIONAL STORY INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED THE ALARM DEVICES SHALL BE INTERCONNECTED. SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHEN INSTALLED IN BUILDINGS WHO COMMERCIAL POWER PER SECTION 314.4 EXCEPTION 1.
- 2) PROVIDE CARBON MONOXIDE DETECTORS IN THE IMMEDIATE VICINITY OF EACH BEDROOM COMPLYING WITH UL2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH IFC SECTION 315 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

STRUCTURAL NOTES:

- 1) GOVERNING CODE - RESIDENTIAL CODE OF OHIO
- 2) DESIGN LOADS:
 - SOIL - 1500 PSF MAXIMUM ALLOWABLE FOOTING & SOIL BEARING CAPACITY
 - BUILDING - GARAGE, FLOORS, STAIRS, AND EXTERIOR DECKS = 50 PSF MINIMUM
 - EXTERIOR BALCONIES = 10 PSF MIN, ATTIC AREAS = 30 PSF MIN LIMITED STORAGE / 20 PSF MIN NO STORAGE, ROOF & FLOOR = 40 PSF MIN, WIND = 90 MPH-3 SEC GUST, SNOW LOAD = 20 PSF MIN
- 3) MAXIMUM DEFLECTIONS: FLOORS = L/360, WALLS = H/240, ROOF BEAMS = L/240, RAFTERS WITH CEILING = L/240, RAFTERS WITHOUT CEILING = L/180, ROOF TRUSS GIRDERS = L/240
- 4) FOUNDATIONS
 - A. FOUNDATION ELEVATIONS SHOWN ARE FOR BIDDING PURPOSES AND MAY VARY TO SUIT SUB-SURFACE SOIL CONDITION. ELEVATION AND BEARING STRATA SHOULD BE APPROVED PRIOR TO PLACING CONCRETE. BEARING MUST EXTEND TO FIRM AND UNDISTURBED SOIL.
 - B. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.
 - C. ALL FOOTING SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL. DESIGN ALLOWABLE SOIL BEARING PRESSURE BELOW FOOTINGS = 1500 PSF.
 - D. FOOTINGS (WHERE UTILIZED) MAY BE CAST NEAT AGAINST EXCAVATIONS THAT HAVE VERTICAL UNDISTURBED WALLS.
- 5) CONCRETE
 - A. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI308-1-05 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW, AND THE RECOMMENDED PRACTICE FOR RESIDENTIAL CONCRETE CONSTRUCTION ACI-332R-84.
 - B. MATERIALS
 - 1. CONCRETE UNLESS NOTED: $f'_c = 3500$ PSI, NORMAL AGGREGATE
 - 2. CONCRETE FOR FOOTINGS: $f'_c = 3000$ PSI
 - 3. CONCRETE FOR FOUNDATION WALLS & RETAINING WALLS WITH EXTERIOR EXPOSURE: $f'_c = 3500$ PSI, (5%-1% ENTRAINED AIR), MAXIMUM WATER/CEMENTIOUS RATIO = 0.50
 - 4. REINFORCING STEEL: ASTM A615 60 KSI YIELD DEFORMED BARS
 - 5. ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS
 - C. WHEN THE AIR TEMPERATURE IS LESS THAN 40 DEG F, THE TEMPERATURE OF THE CONCRETE SHALL BE MAINTAINED BETWEEN 50-70 DEG F FOR 7 DAYS
 - D. DURING HOT WEATHER, WHEN NECESSARY, PROVIDE FOR PROTECTIVE MEASURES IN ADVANCE OF PLACEMENT
 - E. LAP SPlice REINFORCING BARS 48 DIAMETERS UNLESS OTHERWISE NOTED
- 5) ADHESIVE ANCHORS SHALL BE EPOXY-TIE OR ACRYLIC-TIE ADHESIVE RESIN ANCHORS AS SUPPLIED BY SIMPSON STRONG-TIE AND SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. SUBSTITUTES MAY BE CONSIDERED, SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.
- 6) WOOD
 - A. MATERIALS
 - 1. FRAMING LUMBER
 - A) 2X8 AND LARGER FOR JOISTS - #1 GRADE OR BETTER SOUTHERN PINE, KILN DRIED
 - B) 2X4 AND 2X6 - STUD GRADE OR BETTER SPRUCE-PINE-FIR, KILN DRIED
 - C) ACQ OR MCQ PRESSURE TREATED PIECES IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER
 - 2. SHEATHING & SUBFLOOR
 - A) ROOF - 3/4" APA RATED SHEATHING, MIN 3/32" THICKNESS, EXPOSURE 1
 - B) WALL - 1/2" APA RATED SHEATHING, MIN 3/32" THICKNESS, EXPOSURE 1
 - C) FLOOR - 1/2" APA RATED TAG SUBFLOOR, MIN 3/32" THICKNESS, EXPOSURE 1
 - 3. LVL BEAMS - INSTALL PER MANUFACTURER'S RECOMMENDATIONS. LVL BEAMS SHALL HAVE DESIGN STRESS VALUES AS FOLLOWS:
 - $F_b = 2925$ PSI BENDING - $F_v = 285$ PSI HOR SHEAR - $F_c = 880$ PSI COMPRESSION PERPENDICULAR TO GRAIN
 - $E = 2,000,000$ PSI MODULUS OF ELASTICITY
 - 4. CONNECTORS FOR ACQ OR MCQ TREATED MEMBERS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL. HOT DIPPED GALVANIZED AND STAINLESS STEEL COMPONENTS SHOULD NOT BE PLACED IN CONTACT WITH EACH OTHER
 - 5. LIGHT GAUGE METAL CONNECTORS - ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND FASTENED AS SPECIFIED IN THE MANUFACTURER'S INSTRUCTION MANUAL
 - B. UNLESS OTHERWISE NOTED, FRAMING MEMBERS SHALL BE CONNECTED PER TABLE R-602.3a, FASTENING SCHEDULE FOR STRUCTURAL MEMBERS, IN REFERENCED BUILDING CODE
 - C. FASTEN SHEATHING TO SUPPORTS WITH 8d NAILS AT 6" OC AT PANEL EDGES AND AT 12" OC AT INTERMEDIATE SUPPORTS UNLESS OTHERWISE NOTED. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING. ALL FLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.
 - D. INSTALL SIMPSON H2 HURRICANE ANCHORS AT BEARING POINTS OF ROOF TRUSSES AND/OR RAFTERS
 - E. NOTCHES IN EXTERIOR WALL OR INTERIOR BEARING WALL STUDS ARE NOT TO EXCEED ONE-FOURTH OF THE STUD WIDTH AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH
 - F. NOTCHES IN FLOOR JOISTS ARE NOT PERMITTED
 - G. ALL BEARING POINTS UNDER CONCENTRATED LOADS, AT THE SUPPORT POINTS OF BEAMS AND HEADERS, AND WHERE INDICATED IN A WALL ON THE DRAWINGS, SHALL BE AT LEAST THE WIDTH OF THE BEARING AND THE STRUCTURAL MEMBER. BEARING POINTS SHALL ALSO BE A MINIMUM OF ONE (1) 2X STUD CRIPPLE NAILED TOGETHER WITH 8d NAILS AT 16" OC TO (1) FULL HEIGHT STUD FOR SPANS UP TO 6'-0", AND (2) 2X CRIPPLES FOR SPANS GREATER THAN 6'-0", UNLESS OTHERWISE NOTED
 - H. ALL MULTIPLE HEADERS AND BEAMS SHALL BE FASTENED TOGETHER AT TOP AND BOTTOM INTO EACH ADJACENT MEMBER WITH THROUGH-BOLT WITH 1/2" DIAMETER BOLTS AT 12" OC STAGGERED TOP AND BOTTOM
 - I. (MINIMUM) TWO ROWS OF 16d NAILS AT 12" OC FOR BEAM DEPTHS LESS THAN 12". FOR BEAM DEPTHS GREATER THAN 12", THROUGH-BOLT WITH 1/2" DIAMETER BOLTS AT 12" OC STAGGERED TOP AND BOTTOM
 - J. EXTERIOR SHEATHING SHALL BE APA RATED STRUCTURAL WALL SHEATHING

NEAL'S

DESIGN-REMODEL

7770 E. Kemper Rd
Cincinnati, OH 45249
513-489-7700
www.neals.com

OWNER / PROJECT
ADDRESS: PETER
& MARY EFFLER
3100 LEACH TRACE
CINTI, OHIO 45231
317-8180

EFFLER ADDITION

© 2015 Neal's Design-Remodel

All working, intermediary and finished drawings are the property of Neal's Construction Company, Inc. and shall not be duplicated or used without the written consent of Neal's Construction Company Inc.

REVISION DATES:

ISSUE DATE: 9.1.19

SCALE: NONE

DRAWING TITLE

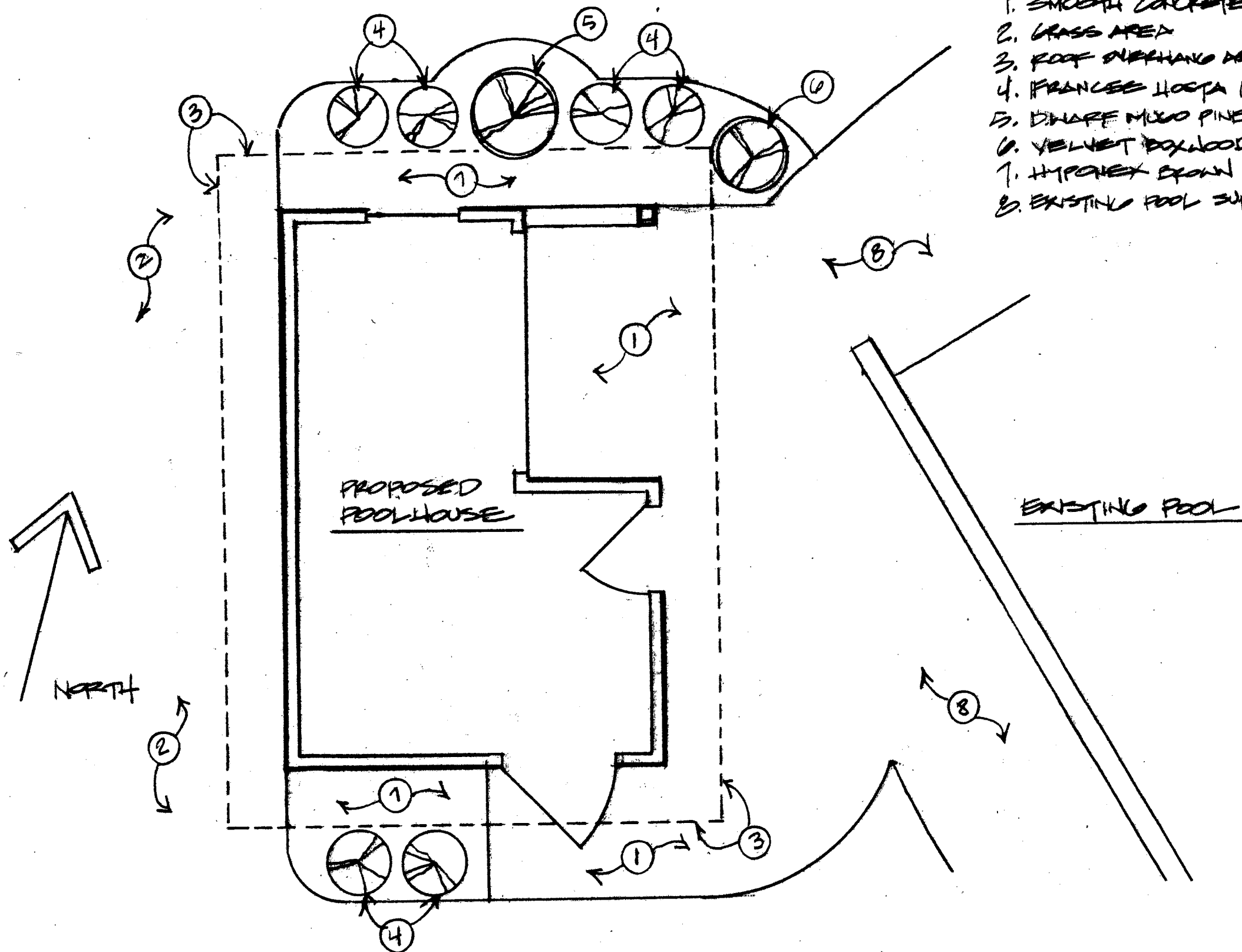
SPECIFICATIONS

TEAM: FK, DE, BN

JOB NO:

SHEET NO:

46-1



DRAWING NOTES

1. SMOOTH CONCRETE
2. GRASS AREA
3. ROOF OVERHANG ABOVE
4. FRANCES HOOTA (6 TOTAL)
5. DWARF MYRO PINE (1)
6. VELVET BOXWOOD (1)
7. HYPOXIS CROWN MULCH BED
8. EXISTING POOL SURROUND

LANDSCAPING PLAN

REAR YARD

1/4" = 1'

NEAL'S
DESIGN-REMODEL

7770 E. Kemper Rd
Cincinnati, OH 45249
513-489-7700
www.neals.com

OWNER / PROJECT
ADDRESS: PETER &
MARY EFFLER
3100 LEACH TRAIL
CINT. OHIO 45231

EFFLER ADDITION

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Construction Company, Inc. and shall
not be duplicated or used without the
written consent of Neal's Construction
Company Inc.

REVISION DATES:

ISSUE DATE: 9.1.19

SCALE: 1/4" = 1'-0"

DRAWING TITLE

**LANDSCAPE
PLAN**

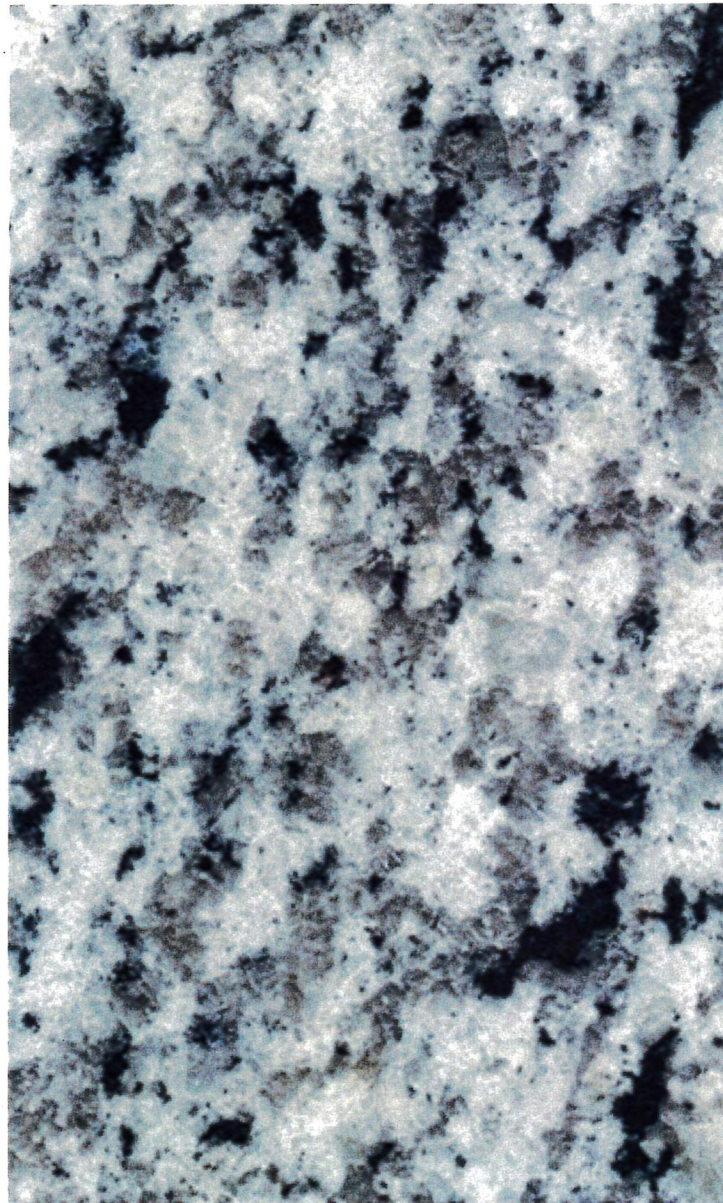
TEAM: PK, DE, BV

JOB NO:

SHEET NO:

A1-1

Granite Countertop



Bar Door





The Residence

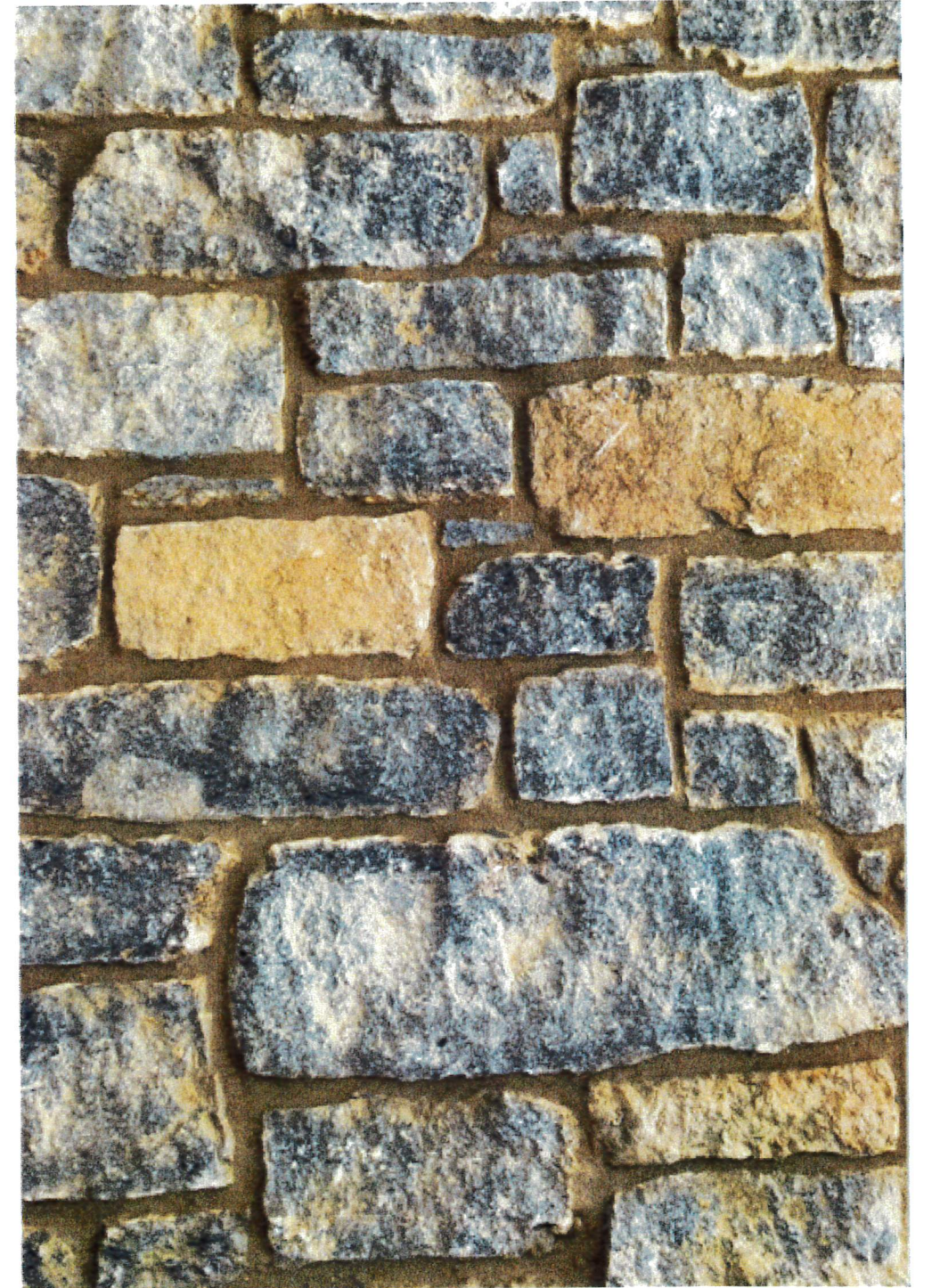


Matching New
Roof to Existing
Residence

Matching New Stone to Existing Residence



Kentucky Fieldstone

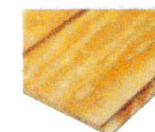




The Exterior of the Poolhouse
will be painted in SW7066
Gray Matters, with white trim

Plytanium

Plywood Siding Panel T1-11 8 IN OC (Nominal: 19/32 in. x 4 ft. x 8 ft.;
Actual: 0.563 in. x 48 in. x 96 in.)



Exterior to have smooth concrete



Shaker-style Exterior Doors



Existing Pool





7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

PLANNING COMMISSION
MEETING NOTICE

WHEN: October 7, 2019 at 7:00 PM

WHERE: Amberley Village Municipal Building, 7149 Ridge Road

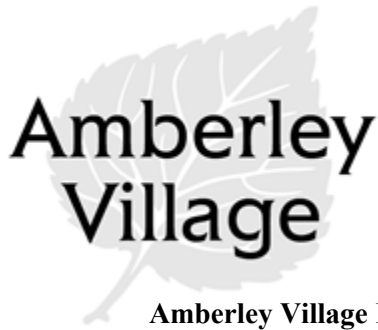
FROM: Scot Lahrmer, Village Manager

Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals **Monday, October 7, 2019** at 7:00 p.m. in the Community Room of the Amberley Village Municipal Building, 7149 Ridge Road (Lower Level). Attendees should park in the back lot and enter through the rear of the building. The meeting will be held to review the following item:

Benjamin and Elisa Travis, property owners of 6820 Elbrook Avenue, are seeking a variance to Zoning Code Section 154.12 (B). The variance would allow for the construction of an accessory structure/shed in the rear yard with a 1' 8" side yard setback.

If you are interested in reviewing the application you may do so Monday through Friday, 8:00 a.m. to 4:00 p.m. at the Amberley Village Municipal Building, 7149 Ridge Road or you may attend the October 1, 2019 Board of Zoning Appeals public meeting. If you should have any questions, please feel free to contact Scot Lahrmer at 513-531-8675.

cc: Timothy A. Lemke & Robyn G. Bancroft, 6917 Elbrook Avenue
Elaine Pockrose, 6800 Elbrook Avenue
Marjorie Korelitz, 6801 Elbrook Avenue
William Roman, 6811 Elbrook Avenue
Michael A. and Haviva A. Horvitz, 6830 Elbrook Avenue
Yair Kugel, 6791 Meadow Ridge Lane
Shelby L. & Dale S. Gubin, 6821 Meadow Ridge Lane
Mayor Thomas C. Muething
Amberley Village Council Members
Scot F. Lahrmer, Village Manager
Kevin McDonough, Wood & Lamping LLP
Village Posting Boards (5)
Cincinnati Enquirer



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberleyvillage.org

Amberley Village Planning Commission Staff Report

October 7, 2019

Subject:

6820 Elbrook Avenue

Variance:

Accessory Structure Setback

Item: Case#2019-1444

Variance Request: Benjamin and Elisa Travis, property owners of 6820 Elbrook Avenue, are seeking a variance to Zoning Code Section 154.12 (2). The variance would allow for the construction of an accessory structure/shed in the rear yard with a 1' 8" side yard setback.

Zoning Code Review: 154.12 (2) No accessory structure shall be erected in any side yard within a distance from the rear side lot line less than the least width of the side yard required for the principal building.

Variance Review: Mr. and Mrs. Travis, are seeking a variance to Zoning Code Section 154.12 (2) to construct a 10'x12' shed within the required side yard. The shed is proposed to be constructed in the rear yard with a side yard setback of approximately 1'8", with the doors facing to the east.

The letter to the board states that the back yard is able to accommodate a number of play-sets (swing and trampoline) and patio furniture and is flanked by two trees, all of which improve their quality of life.

The letter also states that the trees make placement of the shed difficult. Also placing a utility shed directly behind the house would force them to curtail the use of the space in some fashion.

The pictures submitted with the variance request show landscaping on the north end of the house, which the letter to the board states would block the view of the shed from those standing directly in front of their home.

Mr and Mrs. Travis' property is located in the Residence B Zoning District and the required setbacks for an accessory structure are 12' from the side and 12' from the rear property lines. Therefore, per Zoning Code Section 154.12, a variance is required for the utility shed to be constructed as proposed.

Project Recommendations: The project is to be considered on its merits.

Benjamin and Elisa Travis
6820 Elbrook Avenue
Cincinnati, OH 45237

Dear Board of Appeals,

We are writing today to request a variance in the zoning code to allow for the placement of a storage shed (similar to the one pictured in Exhibit A below) at a distance closer to our property line than the 12 feet prescribed by zoning regulations. Currently our backyard is able to accommodate a number of children's playsets (a swing set and trampoline as pictured in Exhibit B) as well as outdoor patio furniture that improve the quality of life of our family, and having a utility shed directly behind the house would force us to curtail the use in some fashion of this valuable space. In addition, 2 trees flank our property to the East (as pictured in Exhibit C) making the placement of a shed difficult at that end of our property.

As pictured in Exhibit D, there is significant landscaping next to our home on the side of the proposed shed that would block the view of the structure from those standing directly in front of our home on Elbrook Avenue. Additionally, the placement of a shed in the proposed location will provide additional privacy to our neighbors the Horvitz's to the North, shielding their southern windows from view. We have been in contact with them about this proposal and they have voiced their support for the plan and though a medical condition precludes them from attending the hearing October 7th, they mentioned they would gladly record a video message stating their position.

We thank you very much for your consideration and do hope we can come to a mutually agreeable resolution of this issue.

With respect,



The Travis Family

Date: 9/11/19

Mr. Scot F. Lahrmer
Village Manager
Amberley Village
7149 Ridge Road
Cincinnati, Ohio 45237

RE: Zoning Approval

Dear Mr. Lahrmer:

I hereby request a zoning approval for:

A 10' x 12' storage shed to be placed in our
backyard on the northern side of our property. Permission from
our neighbors has been granted. ~~There~~ ~~is~~ Shrubbery in front
of our home prevents view of the shed from street view. Thank you.

The structure is proposed at the following address:

6820 Elbrook Ave.

I certify that the attached plat and measurements are accurate.

GLENN M ADAM
Contractor's Name

627 Compton Rd.

Cin. OH 45231
Contractor's Address

513-290-9250
Telephone Number

Sincerely,


Homeowner's Signature

C. 513-237-4499
Telephone Number

CLIENT: BENJAMIN & ELISA TRAVIS

STREET ADDRESS: 6820 ELBROOK AVENUE
CITY OR VILLAGE:

TOWNSHIP: COLUMBIA

COUNTY: HAMILTON

STATE: OHIO

CITY LOT NUMBER:

SECTION, TOWN, RANGE

PLAT NAME: MEADOW RIDGE 2ND SUBDIVISION

PLAY LOT NUMBER: 108 & PT. LOT #109

PLAT BOOK: 48
PAGE: 15750

Journey made for the instance of:

**ACCU TILE AGENCY, INC. &
COUNTRYWIDE HOME LOANS, INC.**

We certify that this survey shows the improvement or improvements as located on the premises described; that the improvement or improvements are entirely within lot lines and that there are no encroachments upon the premises described, by the improvement or improvements of adjoining premises.

By:

Registered Surveyor

Mortgage Location Survey prepared in accordance with Chapter 4733-38 Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37 Ohio Administrative Code. Property corners were not set. Buildings and fences should not be established from this survey.



30



Halley-Duro

Engineering & Surveying Group, LLC
2770 Regency Ridge Drive, Suite 203
Dayton, Ohio 45469

Phone: (937) 439-4300 Fax: (937) 439-2005

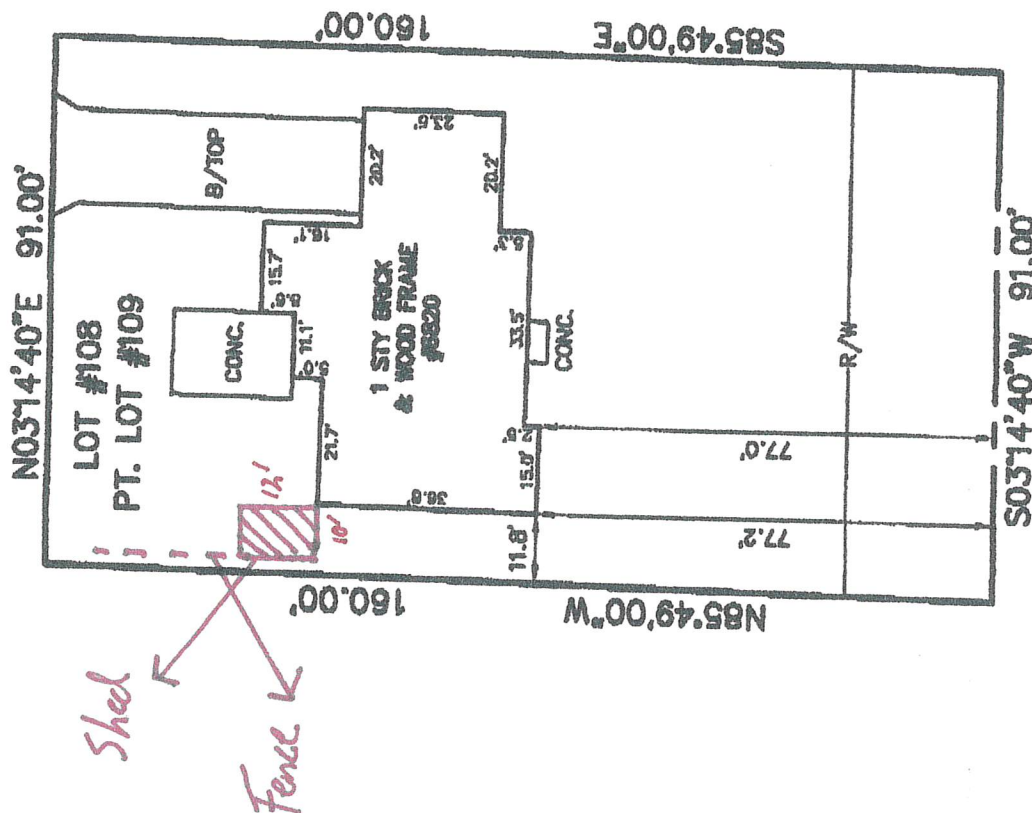
Scale: $1''=30'$

Drawn: CAD

Hot - 100

Date: 4-23-04

Job No. 04-16531



ELBROOK AVENUE

28

May. 28. 2004-11:01AM HALEY-CUSA GROUP 937-439-2005 No. 5825 P. 2-



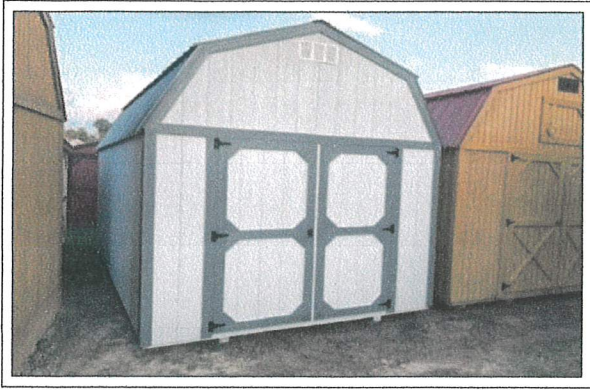


EXHIBIT A



EXIHIBIT B



EXIHIBIT C



EXIHIBIT D



7149 Ridge Road
Amberley Village, OH 45237

513-531-8675 *phone*
513-531-8154 *fax*

amberlevillage.org

PLANNING COMMISSION
MEETING NOTICE

WHEN: October 7, 2019 at 7:00 PM

WHERE: Amberley Village Municipal Building, 7149 Ridge Road

FROM: Scot Lahrmer, Village Manager

Please be advised there will be a public meeting held by the Amberley Village Board of Zoning Appeals **Monday, October 7, 2019** at 7:00 p.m. in the Community Room in the lower level of the Amberley Village Municipal Building, 7149 Ridge. Attendees should park in the back lot and enter through the rear of the building.

~~Marc Fisher, the representative for the Jewish Community Center (JCC), is requesting an amendment to the existing Conditional Use Permit (CUP). The amendments would allow for the placement and use of a two-classroom modular building in the rear yard of the JCC campus located at 8485 Ridge Road. The proposed structure would be located in the rear of the building on the Ronald Reagan Highway side of the property, approximately 302' from the residential properties on Apple Ridge Lane.~~

The JCC has withdrawn its application to allow additional time to prepare.

~~If you are interested in reviewing the application you may do so Monday through Friday, 8:00 a.m. to 4:00 p.m. at the Amberley Village Municipal Building, 7149 Ridge Road or you may attend the October 1, 2019 Board of Zoning Appeals public meeting. If you should have any questions, please feel free to contact Scot Lahrmer at 513-531-8675.~~

cc: Jane Seyfried, 8437 Ridge Road
Mariam Crenshaw, 2502 Apple Ridge Lane
Peg H. Niehaus, 2510 Apple Ridge Lane
Thomas E. & Nancy Horwitz, 2520 Apple Ridge Lane
Mark A. & Sandra L. Thomas, 2530 Apple Ridge Lane
John C., Jr. & Jacqueline B. Thomas, 2536 Apple Ridge Lane
Stacy Worthington-Naberhaus & Joseph B. Naberhaus, 2540 Apple Ridge Lane
Diane Rice, 2548 Apple Ridge Lane
Christine Thomas, 2558 Apple Ridge Lane
Mayor Thomas C. Muething
Amberley Village Council Members

Scot F. Lahrmer, Village Manager
Kevin McDonough, Wood & Lamping LLP
Village Posting Boards (5)
Cincinnati Enquirer